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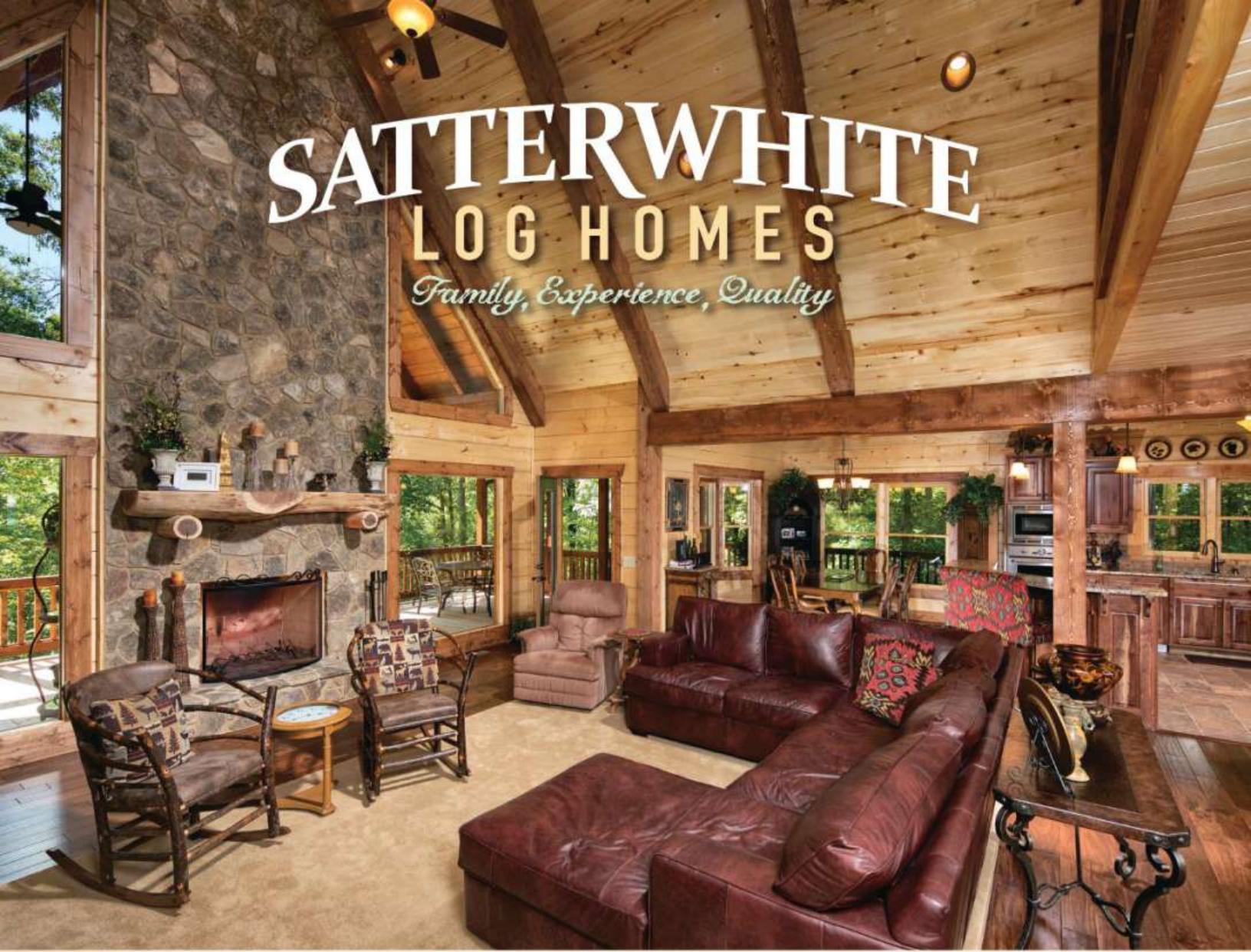
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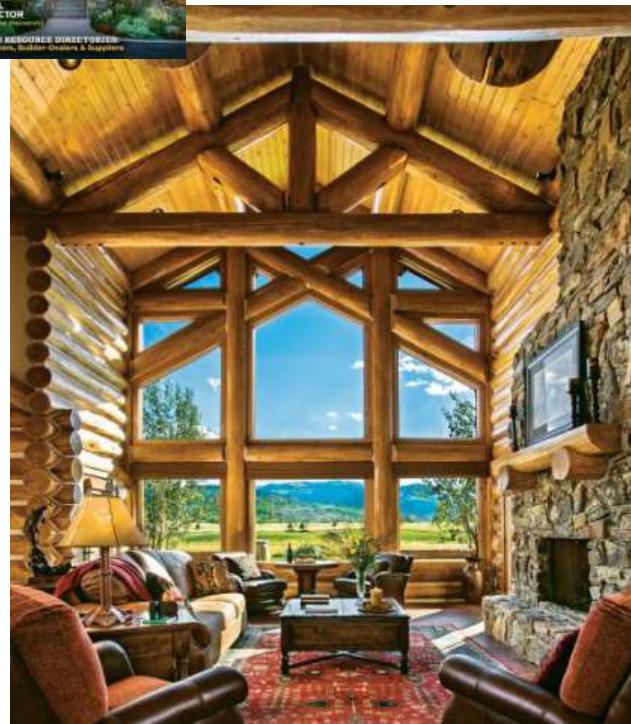
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Located in the Teton Springs Resort in Victor, Idaho, this handcrafted log home reflects the look and feel of an impressive western cabin, with complete log walls and awe-inspiring windows that perfectly frame the stunning views. Home by PrecisionCraft and M.N.T. Architects.
PHOTO: Roger Wade



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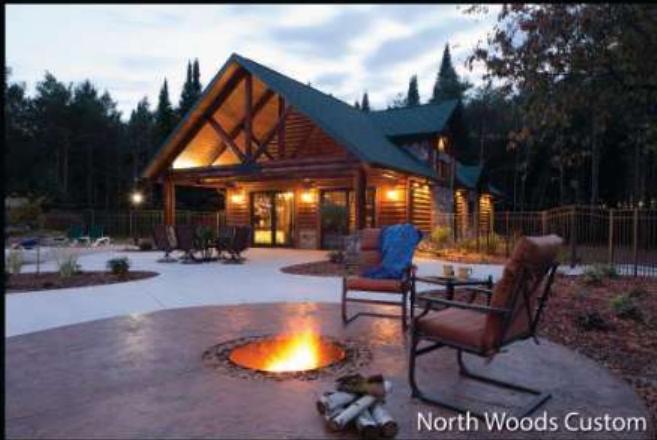
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Roger Wade photos

Located in the Teton Springs Resort in Victor, Idaho, this handcrafted log home reflects the look and feel of an impressive western cabin, with complete log walls and awe-inspiring windows that perfectly frame the stunning views.

NEW-WORLD TRADITION

Log homes have stood the test of time by reinventing themselves.

American pioneers were driven by an unquenchable thirst to explore the new and the unknown. To find that special place in the New World that would support them and their families. A place they could, through honest labor, make their own and pass along to their children.

When they found such a place, these pioneers needed to provide shelter and safety as quickly as they could. So, they used the most convenient and abundant building material they could find: trees.

Trees are easy to cut down, quick to fashion and form, relatively lightweight

for heavy load bearing, flexible in their many uses and a constantly renewable resource. There were not many things the settler needed that could not be made of wood in some form: forts, houses, boats, wagons, fences, tools, housewares, furniture, weapons, wheels, sheds, beds — the list is endless. Having to make do with whatever they had at hand, the pioneers were fortunate that what was at hand was an endless supply of wood.

Pioneer builders weren't architects, engineers or experienced contractors, but they used common sense, lots of

muscle and the abundant building material to construct the best homes they could with what they had. Although we might regard them as primitive because they lacked the essentials of comfort that we now take for granted, back then they met the family's needs for safety and shelter. What's more, their stacked construction was ingenious and simple.

More Than Shelter

Although times have changed, one thing has stayed the same. Building a log home today is still ingenious and simple. Log homes now combine pioneer-proven

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building methods with the latest technology and manufactured materials to create bigger, stronger homes that are comfortable, energy efficient and up-to-date in every way.

Log homes are especially suited to the American character because they have always been and will continue to be very personal places. They express the individual tastes and lifestyle of their owners.

Today's log homes provide more than shelter. They represent a concerted effort to get back to nature and simpler times. Many owners who initially build log homes as their getaways wind up moving there permanently because living there seems like a perpetual vacation. The log home represents their desire to be as close as possible to the openness of nature and the simple joy of living in harmony with it. A log home is a solid link with America's pioneer heritage.

Like individuals, a log home stands apart. Its striking and distinctive outward appearance projects an instantaneous aura of warm hospitality and cozy living where family and friends can enjoy themselves. Most homes are built in picturesque settings with plenty of room and great views. A log home is another outward symbol of the American need for lots of living space and self-expression.

This vision of warm hospitality and comfortable friendliness has been transferred into larger log structures. Today, conference centers, clubhouses, restaurants, condominiums, office buildings, motels and entire resorts are built of logs to convey that warm, cozy and personable feeling that says, "Welcome."

New & Improved

With their ability to improve on almost anything, Americans have brought development of the log home into the 21st century. You don't have to build with whatever trees happen to be closest to where you want your home to be, the way the pioneers did. You can choose the species of wood you want, as well as how it is prepared.

Some of the more popular wood species for log homes are white pine, lodgepole pine, red pine, southern yellow pine, ponderosa pine, white cedar, western red cedar, incense cedar, cypress, redwood, Douglas fir, eastern fir, hemlock, larch, eastern spruce, Engelmann spruce, oak and walnut. Each wood has its own look and characteristics that contribute toward its appeal.

The pioneers built as best they could with axes, saws, rope, hide, clay, vines, pegs and dowels, setting one rough log on top of another until they got the walls as high as they wanted. Today, some hand-

crafters prepare logs in the pioneer tradition, but most logs are delivered to the home site having been prepared with precision manufacturing equipment. They are uniformly milled to strict tolerances with integral tongue-and-groove alignment for wall stability and strength. Logs incorporate integral drip edges, high-efficiency insulating foam and long-lasting caulk and chinking to keep out the weather. Long steel lag screws, through-bolts and other fasteners anchor one level of logs to the other. Various methods of allowing for log settling result in log walls that are stronger, straighter and sturdier.

Logs come in various sizes with distinctive inside and outside profiles and different corner details to suit individual tastes. These logs are cut to the precise measurement needed for the specific design. The builder follows a detailed construction manual to assemble the home.

Precision Made

Today, most log-home manufacturers combine milled logs with other inspected construction materials and assembly hardware in numbered packages that are wrapped in a protective covering and delivered directly to the home site. Some manufacturers provide packages complete with flooring, windows and doors, roofing

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and other finishing features. These manufactured log packages often make it easier and faster to construct to whatever degree of completion the owner desires, leaving builders to concentrate on building the home without concerning themselves with preparing the logs and other materials.

This planning saves time, trouble and, in some cases, money for homeowners. Knowing exactly what you're getting for your money in the beginning greatly reduces the possibility of unpleasant surprises later.

Log homes can be built and finished to exact specifications (so-called turnkey construction), or they can be built to a certain degree of completion by a contractor and finished by the homeowner. Homeowners may choose to have the plumbing and electrical subcontracted,

for example, while they finish the interior walls, flooring, closets, cabinets and counters themselves. This versatility allows homeowners the opportunity to put some of themselves into completion of their home. Homeowners gain the satisfaction of active involvement and can honestly say, "I built it myself!"

Design Flexibility

In their hurry to provide immediate shelter, the pioneers weren't able to give much thought to architectural design, appearance and creature comforts. Today's log homes function well, but they also live well. Design flexibility optimizes interior space. Materials like stone and glass combine with the logs to add aesthetic impact.

Architectural styles mimic the rustic cabins of long ago and answer the

needs of homeowners who want a home that is more contemporary looking. By adapting the character of logs to suit their preferences, homeowners gain a comforting sense of living in complete harmony with the surrounding natural environment.

Serving as both personal refuge and safe harbor in times of perpetual change, log homes have stood the test of time and will be around for many more generations. Their style and sturdiness will outlast you. They are a valued asset that you can pass along to your children and their children. They bespeak both personal pride and national heritage.

The ultimate appeal of a log home is that you can build it your way. That concept will never go out of style. **L**

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DREAM TO REALITY

Understanding the process can clear the path to log-home ownership.

Everyone that now lives in a log home has overcome two major obstacles: (1) the log-home buying process itself and (2) their budget. While the obstacles may seem obvious, methods of surmounting them may not.

If owning a log home were as easy as walking into a sales representative's office with a floor plan and a checkbook, the hillsides and meadows of America would be blanketed with log homes. Unfortunately, obtaining a log home is more complicated than buying a conventional home.

Buying Reality

When conventional-home buyers go house hunting, they either employ a realtor or wade through classified ads and real-estate directories. They look at finished homes and builders' models or renderings. At the most, they may choose a lot, point at a picture or visit a model, note a few modifications (only a few changes allowed) and let the builder take it from there. More often, they will visit a finished house they like, make a purchase offer and let the realtor or real-estate attorney take over.

For log-home buyers, the process involves finding land, selecting a floor plan, choosing a log-home company, finding a builder, obtaining financing and, oftentimes, arranging to hire subcontractors or contributing their own labor. In the case of log-home buyers, since they are operating outside of "normal" home-buying procedures, they will have to direct the entire process themselves. A realtor may help find land, and a log-home representative may provide building services (or at least offer suggestions), but working with the builder, the finance company and the log-home company falls directly on the buyer's shoulders.

The process of obtaining a log home can be an obstacle. Preparation can overcome it. You must be willing to accept the additional time and energy commitments that the log-home buying process requires.

Budget Reality

Budgeting is another potential obstacle to log-home ownership. Despite the efforts of log-home manufacturers, sales representatives and log-home publications to explain the costs involved in building a log home,

many prospective log-home owners entertain notions that range from mild delusions to sheer fantasy. Many people think that they can obtain a large, custom-built log home, on rural acreage with private well and septic system, for less than the cost of a modest townhouse or a single-family home in a development.

There are three ways to deal with budget challenges. First, you can delude yourself. This is especially likely for those planning to contribute their own labor. Some of these owner-builders believe that most of the price tag of a turnkey, or finished, house comes from labor costs, which they can avoid by doing the work themselves.

Their delusion about log-home costs comes from a general lack of knowledge about the house-building process. Just as we've lost touch with the processes that put food on our table, most of us no longer understand what is required to put a roof over our heads. Complicating this is that most of us are not willing to settle for the same roof that sheltered our grandparents. Today, log homes and housing in general are far more complex.



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In reality, providing all the labor for your house (and not paying yourself for your time) may save you one-third the total price of a turnkey, contractor-built home. But this is only if you are very good, very efficient and very organized. The real danger of deluding yourself comes when you manage to get yourself into the project and find yourself unable to complete it. This predicament happens frequently enough that many lenders list it as their main reason for refusing to grant loans to owner-builders.

The second way to deal with budget problems is to re-examine projected costs and realistically determine what can be cut without altering your basic dream house. Perhaps the deck can be added later, the second story can be finished in your spare time after you move in or the

whirlpool tub can be roughed-in for later installation.

These decisions can often help bring a budget-breaking house plan within reason. But they usually work only when the budget is not too badly broken. And such measures mean accepting a house that, in your mind, is not truly complete — the legendary permanently unfinished house. After a while, it becomes annoying telling guests, “This is where the so-and-so will be, and over there will be the such-and-such.”

Redefining Reality

There is a third way to make your log-home dream come true, even in the face of massive budget discrepancy. It's simple, certain and comes with a host of other benefits. It's also the least tried. Stated simply, redefine your dream. Since, for most people, log homes represent more than just housing, this approach means examining your lifestyle and priorities.

When I first started selling log homes, I was amazed at the uniformity of people's log-home dreams. The floor plans were different, but the size and the features were the same. I call them the “gotta-haves”: “We gotta have 2,000 square feet, a loft, all tongue-and-groove ceilings, a glass wall, whirlpool, master suite with luxury bath, hardwood floors, etc.” The price tag for such “gotta-haves” can run to well above \$30,000.

I wondered how everyone was coming up with the same list until one day I realized it came straight from magazine ads and sales literature. I'm not protesting people's “gotta-haves,” just pointing out that if yours prevent you from owning a log home, what have you gained? Luxuriating in a whirlpool tub in a non-existent log home is much less satisfying than stepping from the shower of a real log home and hearing the chorus of night sounds drifting in the window on a summer evening.

Perhaps a good way to evaluate your “gotta-haves” is to look at their real cost, not simply the price tag. Examine not only the dollars spent paying for, maintaining, repairing and replacing them,

but also the time required to perform all those tasks or to earn the money to have them done.

Real Costs

Consider a luxury tub — and it seems almost every log-home shopper does. What does it really cost? Such a tub can start at \$2,500. To satisfy most tastes (and look like the magazine ads), the price tag is probably closer to \$4,000. But what does it really cost?

First, let's look at the mortgage. Since that tub is going to be amortized over 30 years at the prevailing interest rate, it could easily wind up costing twice its price tag. And this figure does not even count the water or the electricity used to fill and heat the tub while it's in use, plus regular maintenance and the inevitable repairs.

What about lofts? Lofts go with cathedral ceilings, which go with log homes. They can be spectacular, delightful places. But when you add a loft and cathedral-ceiling area, you automatically increase the size of house required to get the same usable square footage. A 24-by-40-foot, two-story house contains 1,920 gross square feet of usable area. If you leave a 20-by-12-foot area out of the second floor to create a loft and cathedral ceiling, you have reduced the usable square footage by 240, or 13 percent. You must increase the house to 2,160 square feet to achieve the same amount of floor space.

The cost of this additional space will be only slightly lower because, although you've eliminated some second-floor framing, you've added trim carpentry and finishing in the form of loft railings. Also, a cathedral ceiling costs more to finish than a comparable area of flat ceiling. Assuming a bargain cost per square foot of \$35 for that additional 240 square feet, your loft-cathedral ceiling will carry a price tag of \$8,400. Its real cost, as part of the mortgage, will be roughly double that amount over 30 years.

Utility bills also will be higher in a house with large expanses of cathedral ceiling. Even using principles of solar design and energy efficiency in siting and building the house, you will spend more



JK Lawrence photo

Evaluate the cost of your must-have amenities, such as a soaking tub in the master suite, and examine the price tag to figure out what luxury items you can afford to include in your dream home.



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to heat and cool it than a house of the same area without those features.

More Inefficiency

Many people cannot imagine a log home without a fireplace. But even high-efficiency fireplaces cannot begin to equal the efficiency of a mediocre wood-burning stove, which costs far less. In truth, fireplaces are to enjoy for a few hours on blustery winter evenings. Wood stoves, on the other hand, can contribute substantially to heating a home. If yours is a wooded lot of any size in an area of moderate winters, you may be able to provide several seasons of heat just from the trees cleared for the house and the road.

Don't forget to consider the cost of obtaining that wood. Many wood-burning hopefuls invest more than the cost of a complete high-efficiency heating system in the tools required for cutting and splitting wood. Then, after one or two seasons, they realize that there are things they

enjoy more on a crisp autumn afternoon than the drone of a chain saw and the odor of gasoline. Next, they discover that a house heated by wood cut by someone else is about the most expensive form of heat obtainable.

Finally, there are features like hardwood flooring and tongue-and-groove wall and ceiling coverings. These are always substantially more expensive to install than their conventional counterparts: carpeting and drywall. Hardwood flooring, installed and finished, may be two to three times the installed cost of a top-grade carpet.

Tongue-and-groove costs roughly four times what drywall does. The materials alone may run substantially more than the total cost of drywall installed and painted. Tongue-and-groove has the mixed advantage and disadvantage of providing a permanent finish, whereas drywall needs periodic painting or wallpapering. From a maintenance stand-

point, tongue-and-groove wins. But from a decorator's perspective, drywall offers the possibility of changing colors or wallpaper. This flexibility can be important to someone planning on occupying the same house for 20 years or more.

Log-home shoppers needn't settle for less in their dream home, but do consider the value of the features you want independently to avoid either making your dream unattainable or saddling yourself with a financial burden that makes your dream, once achieved, impossible to enjoy.

Paying for the Dream

Finally, consider that the price tag is only a part of value. Remember Henry David Thoreau's definition: "The cost of a thing is the amount of what I call life which is required to be exchanged for it, immediately or in the long run."

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work week). Commuting to and from work adds an average of five hours per week for most Americans, reducing their effective hourly wage to \$21.37, of which about a third will go for taxes. This leaves about \$14.25 received for each hour's work done. Considered this way, that luxury tub discussed earlier actually costs nearly two hours of time from the homeowner's life per month, or roughly 18 work weeks over the life of the mortgage. This does not include the time spent cleaning the tub (a half-hour or more per week, or two-plus hours per month) or the time spent earning the money to pay for the electricity and water. Weigh this cost against a conventional tub.

Likewise, that cathedral ceiling and loft will require 4.5 hours of labor every month, or almost one full year over the 30-year life of the mortgage. That may be worth it to you, but weigh it carefully against the other uses you might make of that money or the time it represents.

Many people whose budget is drastically out of line simply choose to postpone their log-home dream — "until we can afford it." But this raises a final consideration: the future affordability and availability of log homes. Land prices skyrocket, building permit requirements and their associated bureaucracy increase dramatically, and lending requirements tighten drastically. These trends are not likely to reverse, even though mortgage interest rates and the construction market may rise and fall. If you are fortunate enough to live in less developed areas of the country, these trends may not affect you for some time. But many people may never live in a log home if land prices grow faster than their incomes.

Some people manage to pay for otherwise unaffordable homes by acting as their own general contractor or providing their own labor. Mounting regulation of the construction industry and increasing strictness by lenders is making this

trade-off more difficult each day, however. In some municipalities, homeowners must have all mechanical work on their house performed by licensed professionals. Only a few banks will lend to owner-builders (not just for log homes but for any kind of home).

For many people, there may never be a better time than now to buy a log home. This fact makes it especially important to consider the features the house contains and to evaluate their true cost. Examine your current lifestyle and the lifestyle you desire in order to avoid letting something with a high hidden cost prevent you from realizing your log-home dream. 

— Jim Cooper

Jim Cooper (info@tallgrass-inc.com), the author of Log Homes Made Easy, is a former general contractor and a LEED Accredited Professional who consults in energy-efficient and sustainable building.

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MONEY MATTERS

Forget what a log home costs. How much can you afford?

When it comes to buying a loghome, most people's first question is: How much does one cost?

That shouldn't be your first question. Your first question should be: How much money can I spend? And if that isn't enough, how much more can I get?

With log homes, as so much else in life, money is the root of all frustration. Better to find out at the outset where you stand so that you'll be able to tailor your plan to buy and build your dream home to the reality of your circumstances.

There are many ways you can control how much your log home costs (see the next chapter). There aren't so many ways

to get more money. What you have plus how much you can borrow equals your budget.

Everyone has a budget. Assuming yours will be limited, let's look at how things stack up. The math is simple, although the answer might not satisfy you.

How much money do you have or expect to have: cash stuffed in a mattress, savings accounts. Don't include retirement savings, but do add any other redeemable assets.

If your new home will be your primary residence, add the equity you expect from the sale of your existing home (selling price less mortgage pay-off and Realtor's fee).

How much money can you borrow? Responsible lenders set a limit of 2.5 times your total household income.

If you've bought land and still owe on it, subtract that.

The total is your home-building budget. If it's \$500,000 or more, you're on your way. If it's less than \$200,000, you're not realistically ready.

How can you improve your budget picture? Maybe the answer is adding assets, and not always more cash. Consider sweat equity, although these days building the home yourself is less a matter of hammering and sawing and more about managing the overall project. If you have carpentry skills or home-build-

ing experience, you may tackle hands-on projects and find them fulfilling.

Be realistic about your own abilities and the time you can spare to the project, however. Building a second home two and a half hours from your primary residence might mean devoting two or three years of weekends and summer evenings to completing the job.

And unless you're planning on a bare-bones vacation cabin, you'll be building a modern, fully equipped home. If you've never built an ordinary house, think long and hard before taking on the responsibility of building your dream home.

Once you've made adjustments and know your budget, you can present this figure to your designer, your builder and your log-home company. Be candid when discussing your budget with these people. Their aim is to work within your means. **L**

Pricing a Log Home

Figuring your borrowing power and understanding the types of loans involved in building a log home are relatively simple matters compared with trying to put a price tag on that home. Compounding the difficulty is the quest for an easy answer. Everyone assumes there's a way to cut through the complication, including the people selling the log homes. There isn't.

The challenge begins with the log-home company that sells materials packages, or kits. Whatever the kit price, it covers only a fraction of the materials needed to complete the home and doesn't include the labor to build it. There is no relationship between the package price and total cost any more than there is between the flooring you choose and the finished price.

Multiplying the package price won't get you in the ballpark. Neither will coming up with a cost per square foot. These estimating methods don't distinguish between levels of quality of materials and amenities or where the home is being built. Custom kitchen cabinets cost more than stock, but they have no bearing on the package price or the cost per square foot. Heber Springs, Arkansas, is a whole lot cheaper to build a home in than Breckenridge, Colorado, but even in Heber Springs, costs can vary significantly.

The only way to calculate the price of a log home is to take the package price, including any tax and delivery charge, and add the cost of materials not included in the package, as well as the labor necessary to assemble and finish the house. And the only way to learn these costs is to get estimates from suppliers and bids from contractors and subcontractors. Obtaining these figures is detailed, time-consuming work. And it cannot proceed in earnest until you have final construction drawings.

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PLANNING



FLOOR PLAN FUNDAMENTALS

Good design and modest amenities can lower the cost of a log home.

A floor plan is the first step toward making your log home happen. It's a two-dimensional picture that shows the relationships of rooms, their sizes and how they flow into each other. The best part about this very important phase of the design process is that it lends itself to frequent revisions without entailing any cost. In fact, many so-called custom plans are actually modified floor plans of already built homes. This fact suggests that if you're uncertain how a log home might be laid out (fewer halls, open rooms, etc.), you may familiarize yourself with successful layouts, both in this magazine and on different log-home websites, including our own (loghome.com/floorplans), where you'll find thousands for all sizes and budgets. Meanwhile, here are 10 steps to design a workable plan for your home.

1 Chart your lifestyle. Consider the makeup of your family (adults only, adults and kids, aging parents), how you live (formal or casual, hectic or relaxed), whether you like to entertain or have special hobbies that require dedicated space. A lifestyle outline will tell you how you feel about your home and its basic plan. For instance, a casual couple won't need a formal entry or dining room, while high-octane families might consider including cozy, tranquil spaces to regroup.

2 Size things up. Bigger isn't always better. It does cost more, however. So before you jump on the wasted-space bandwagon, make sure the number, type and size of rooms reflect what will take place within them. Think of your rooms as activity zones; instead of "kitchen" and "living room," for example, think "cook-

ing" and "family time." Add these areas together and tack on roughly 15 to 20 percent more space to account for walls and traffic flow.

3 Account for extras. Architectural components are integral to your home, but they also tend to hog space (and cost money). Some popular elements: window seats, large windows, vaulted ceilings, log beams and trusses, dormers and hipped or gabled roofs.

4 Map out a plan. Organize your list of activities and rooms into a house based on how you'll use them. Start by breaking down your list into private and communal activities and where in the house they should take place. Then draw a bubble diagram by grouping bubbles representing rooms according to

where you want them to be positioned. Then square off the bubbles to create a rough floor plan, adding space for walls.

5 Compromise. Balancing size, quality and budget is essential, so unless you have unlimited resources, the reality is that you can't always have what you want. So make cuts that work for your lifestyle, whether that means shaving off square footage, minimizing special features or reducing quality (be careful with this last one; there are some things you shouldn't skimp on, such as windows and doors). If you find yourself having to make too many compromises, consider looking for additional financial resources.

6 Show, don't tell. Convey your ideas to your designer and builder with a notebook of clippings or downloads of homes and features that speak to you. This collection will give professionals an idea of how you want your home to

look and an indication of the quality you expect.

7 Site your home. This is a primary reason why you should buy your land before you design your home. Take note of your site's advantage and challenges, including geography, topography, vegetation, climate, exposure to sun and wind, views and sounds. Then determine how these factors will affect each room in your home in terms of light, views and insulation. Also think about how your home affects the beauty of the site; consider leaving the best parts untouched so you can enjoy them later.

8 Think in three dimensions. Seeing your floor plan on paper or a screen is great for room allotment, but you also need to consider your home's vertical aesthetic — its elevation. That means how it looks on the outside, as well as its interior relationships. Try visualizing yourself in

each room and imagine how it will look and feel, what sounds you'll hear and what you'll see in front, behind, above and below.

9 Choose your look. Whether you go with a handcrafter or a manufacturer can influence your home's look, sense of scale and planning possibilities. So research the different building systems to make sure the one you choose fits with your plan.

10 Stay focused. Professional guidance and recommendations are crucial throughout the entire home-building process. Remember, though: This is your home. Make sure you discuss every suggestion thoroughly, and don't be afraid to get a second opinion if you have concerns. Also, you want to work with people who're excited about your plan, not ones trying to make statements of their own or worse, make their jobs easier. **L**

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BUYING



CHOOSING A LOG COMPANY

Do your research and weigh your options before picking a producer.

The first step toward buying a log home almost always is to choose a company that sells the logs. This seems like an unusual arrangement to many people, who reasonably expect the process of buying and building a custom home to begin with either a builder or the designer, not with the company providing the primary building material. After all, if you're building a stud-framed home, you wouldn't start at the lumberyard.

Of course, some people do begin their log home by first contacting a builder or a designer. Sometimes these professionals are the ones who first suggest using logs. A few in fact have working relationships with established log-home companies. What makes this arrangement seem even odder is that many log-home companies don't provide many more building components than the logs, and that even fewer will actually build the home.

The way today's log homes are made and sold has to do with their origins as kit homes. Sawmills produced packages of

logs and assembly components to sell to consumers, mostly as do-it-yourself projects. As the demand for more sophisticated log homes grew, it was these companies that handled the engineering of full-scale primary residences and developed designs exclusively for log homes. Over time, some of these log-home producers grew to become full-service companies.

Today, these producers are the link between your dream of living in a log home and making it come true. There are dozens of companies to choose from. Some are full-service manufacturing plants with computerized design departments, precision milling equipment and nationwide dealer networks. Others are small-scale artisans who produce only a few homes a year.

Machined or Handcrafted

Logs are either milled, hand-peeled or hand-hewn. Milled-log companies, or manufacturers, use machinery to cut and shape logs uniformly. Handcrafters use hand-held tools either to peel logs in the

shape of the trees they once were or to hew them into squared timbers.

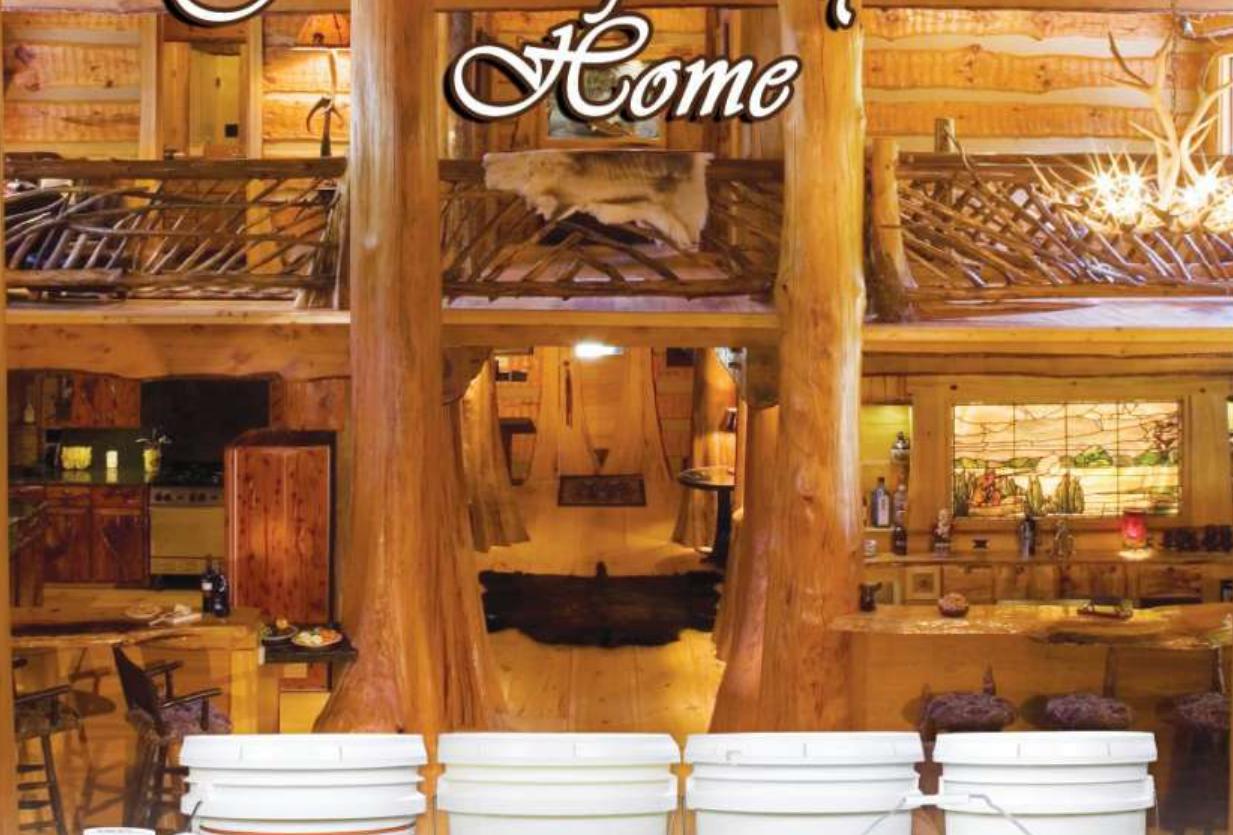
Few companies produce both milled and handcrafted logs. Because of the interchangeability of cutting knives in high-speed woodworking machinery, however, milled-log companies usually sell several styles. Besides their sales literature, some companies have websites, conduct orientation seminars and host plant tours to familiarize potential buyers with their lines.

The company directory starting on page 133 identifies North America's major log-home producers. Each listing tells which wood species the company uses and something about its building system. Before actually encountering the technical aspects, focus on the look of each company's homes.

Visit any producers you can. Most are located closer to their trees than to their customers. Some aren't far off Interstates (if you're ever passing by, look for their billboard), but generally they're pretty

—Continued on page 34

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Milled VS Handcrafted

Milled

1. Logs are stripped of bark for consistent grain and color
2. Each log is milled to a uniform shape and size
3. A beveled edge or tongue-and-groove can be used to interlock logs
4. Corner lengths are uniformly cut for a precise appearance
5. Chinking often is unnecessary but can be used for aesthetics



Rich Fruthey photos



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Cindy Thiede photos

Handcrafted

1. Some bark is left on the log for color variation
2. Logs are irregularly shaped and vary in size
3. Each log is cut to conform to the one beneath it
4. To add character, corner lengths often are not uniform
5. Sealant or chinking adheres the logs to each other and seals gaps against weather



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Log Profiles

The shape of your logs can have a major impact on your home's looks. Here are the most common styles:

Round Logs



Full Round

Swedish Cope

Square Logs



Ship Lap

Squared

Rectangular Logs



Squared Edge

Bevel Edge

D-Shaped Logs



Round & Flat

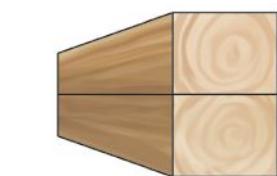
Flat & Round

Round & Round

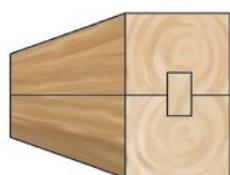
Interface Styles

Your log profile will influence how the logs are fitted together horizontally. Here are some common techniques:

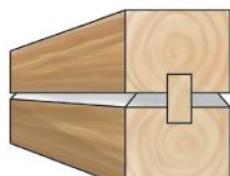
Rectangular



Flat on Flat

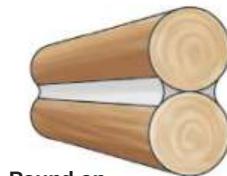


With Spline

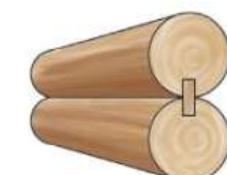


Corner Support System with Chinking

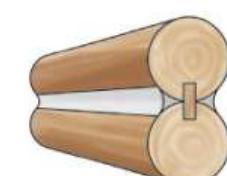
Round



Round on Round with Chinking

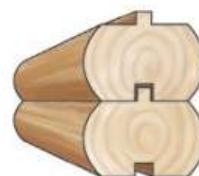


With Spline

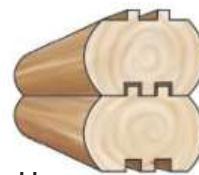


Corner Support System with Chinking

Tongue-and-Groove



Single Tongue-and-Groove

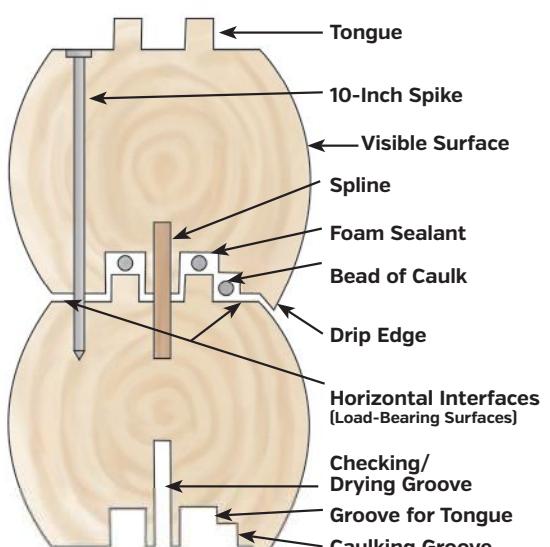


Double Tongue-and-Groove



Ripple (Triple Tongue-and-Groove)

Tongue-and-Groove Profile in Detail



David Long Illustrations

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Quality Design

Although quality is most evident in the logs and timbers we select it is stressed in every aspect of our operation. For instance, we have experienced designers that will meet with you and transform your ideas into a well-planned, energy-efficient home. After all, it is your dream home so shouldn't it reflect your lifestyle.



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far from anything, including each other. Three parts of the country that do have particularly large concentrations of companies are western Montana, east Tennessee and south-central Wisconsin.

This issue also has a directory of builders and dealers. Many of them have sales models. In some cases, it's the dealer's own home.

When looking at companies, you may find that a particular dealer will influence your decision. A helpful dealer can smooth out a lot of problems that go far beyond just selling you a home. Many work with experienced log-home builders who know their company's system. Some are even builders themselves.

Make sure you know the nature of these dealers' business arrangement with the company whose homes they sell, especially who's responsible if a problem arises. Some dealers work for the company, others are independent. A few companies don't have dealers but deal directly

with customers. This arrangement, while not as common as companies with dealers, is no hindrance to buying a log home.

Products & Services

Companies offer different products and services. Choosing one by comparing all these features might seem challenging, but successful log-home buyers agree it isn't worth agonizing over. The feature that people say mattered most about the company they chose was that it established a genuine relationship that went way beyond a simple business transaction.

Most people get distracted by details. New terminology raises doubts. Keep your sights on the big picture. Find several companies that offer what you like and with whom you feel comfortable. Satisfy yourself that whatever the company touts really works. Ask to see actual homes that it provided logs for. Insist on ones that are at least five years old. Don't just drive by; look them over inside and

out. Familiarity with the way log homes are produced and built will reinforce your determination to own one.

Log homes, whether handcrafted or manufactured, are systems-built homes. That is, they are engineered and designed to be assembled using components that will ensure the home's structural integrity. It may help to think of log homes as pre-cut kits that you could buy and assemble yourself following detailed instructions, even though not all log-home kits come pre-cut, and assembling the components is beyond the capability of most buyers.

No Best Way

Basically, the building system dictates how a log home stands up and how it withstands weather. Each producer has spent considerable time and thought developing a system that is different from its competition. Maybe this difference is great, maybe it's minor; nevertheless,

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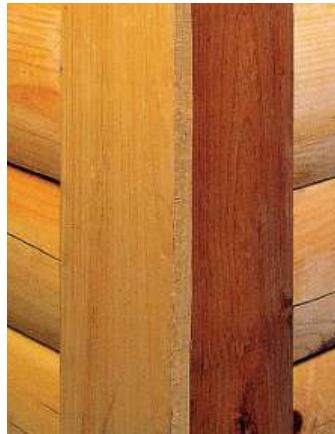
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Corner Styles

How your logs intersect at the corner is one of the most defining features of your home.



Left & two center images: Appalachian Log Structures photo
top: Right: Caribou Creek Log Homes photo

Dovetail

This style is used with square or rectangular logs. The corner is cut in a fan-shaped wedge and interlocks with perpendicular logs.

Corner post

A post is found at each corner into which grooves are cut to hold log ends. Looks similar to post-and-beam construction.

Butt-and-pass

One log stops where it meets an intersecting log, and the other log extends past the corner.

Saddle-notch

A notch on the bottom of the log straddles the top of the log coming from the perpendicular wall. Both logs extend past the corner.

each system is designed to work according to its developer's plan. The differences among these various systems lead to considerable confusion among prospective buyers. They see one system does something this way, another does it that way. They wonder which way is the best way. The truth is, no one way is best. If it works, it's a right way — but there are many, many right ways. After all, there are dozens, maybe hundreds, of different ways to cut these logs and shape these logs and assemble them.

The main point you should satisfy yourself about is how the system you are considering accommodates settlement caused by log shrinkage. Beyond devising a system to allow for settling, companies usually strive to make their logs more stable by drying them. This process involves bringing the freshly cut tree's moisture content down to the level of the surrounding climate. The two methods are air-drying and kiln-drying. Air-drying means letting the logs season outdoors, much the way you might stack firewood to dry before using it. Kiln drying entails stacking logs in a large oven-like cham-

ber and slowly heating them to remove the moisture. Both methods have their proponents. A few companies prefer to build with unseasoned, or green, logs. This method works well for those companies who use it. Some companies in the West prefer to use logs from standing-dead trees. This wood has already dried and works well in log homes.

Absent from this discussion is any revelation of which particular wood species is best for a log home. That's because there is no best wood. Any of the two dozen species being used for log homes today will serve the purpose. Most are softwoods: pine, fir, spruce, cedar and cypress. A few companies offer oak. Companies use the wood they prefer (usually because they can get adequate supplies of it), although most companies can obtain other species, even premium ones, on request. Some homeowners may say they wish they had used another company or designed their home differently, but never has a homeowner complained, "I should have used another kind of wood."

Protecting Wood

More important than which wood you choose is how you protect it. Companies used to peddle log homes as maintenance-free. True, they don't need painting, but wood exposed to the elements can set up a chain of events that eventually compromises the home's structural integrity. Protection begins with good design, but that is rarely sufficient for long-term exposure to the elements.

Some companies dip or pressure-treat their logs with a sodium-borate solution before shipping them to the home site. This natural mineral repels insects and fungi but isn't toxic to humans. Some borate products allow you to treat your logs after the shell is erected.

Besides borate-based products, there are wood coatings especially formulated to protect logs in use. Trying to save money by using something intended for another situation — protecting a deck, for instance — will require more frequent application just to achieve inadequate protection. These special formulations should include ingredients to repel water and protect against ultraviolet radiation;

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Moisture Matters

The moisture content of the logs that go into the making of your home is crucial to predicting the amount of settling that will occur in your wall system. Logs that are freshly cut contain lots of moisture, mostly in the sapwood. The instant a tree is cut, the wood begins losing its moisture. Freshly cut logs are said to be green, or unseasoned. As the logs sit, the moisture evaporates until the moisture content reaches equilibrium with the surrounding climate. The lower the moisture content, the drier and lighter the wood and thus the more stable.

Logs typically lower their moisture content by kiln drying or air drying. Air-dried logs are stored in a producer's yard or warehouse for a period of six months to two years, depending on the local climate and the log species being used.

A faster way to dry logs is to place them in super-sized evaporating ovens for several weeks to lower the moisture level below that attainable by air drying. This complex process, called kiln drying, subjects the logs to both heat and humidity to reduce the effects of twisting and warping. The heat also kills insects that may have infested the logs. Once the weight of the logs reveals they've reached the desired moisture content, the logs are taken out of the kiln. Cost is an issue, but producers who own kilns usually charge less than companies that must send out their logs for kiln drying.

Standing-dead timber (also called dead-standing and dried-on-the-stump logs) is another option for log-home buyers. The name refers to trees that are left standing after they've been killed by insect predation, disease or forest fire. Many of these trees have not been compromised structurally in any way, and whatever killed them is no longer a factor. There may be surface blemishes, especially in the case of fire-killed trees, but these are easily removed by milling or hand planning the surfaces. Because it's extremely dry and stable in construction, standing-dead timber is popular, especially among producers in heavily forested, arid western states.

Logs in any of these conditions are OK to build with. Log companies have their own preferences, determined by the way they have engineered their building system. Handcrafters might prefer green logs or choose air-dried ones. Manufacturers favor air-dried and kiln-dried logs.

they may also include a mildewicide, insecticide and fungicide.

Protection, once applied, will generally last three to six years, perhaps even longer. Expect it to break down first on walls that are the most exposed to wind and sun. A southwest-facing wall will likely lose protection first. You can test for yourself by spraying outside walls with a garden hose. If the water beads, you still have protection.

One advantage of a log home is that if a problem area should develop, it will be visible, not concealed under siding. Regular vigilance will reveal spots that require prompt attention.

Any natural decay resistance charac-

teristic of particular wood species is subject to two considerations. First, the decay resistance is usually a characteristic of the living tree, not always the processed log. Second, with adequate treatment, any wood can be made decay resistant. With lack of treatment, any decay-resistant wood can have its natural defenses overcome.

Some log-home companies grade their logs, indicating they are appropriate for specific structural uses in a home. There are two major grading agencies: Timber Products Inspection and the Log Homes Council. In addition, some companies have in-house grading programs, which may be more or less stringent than those of the grading agencies.

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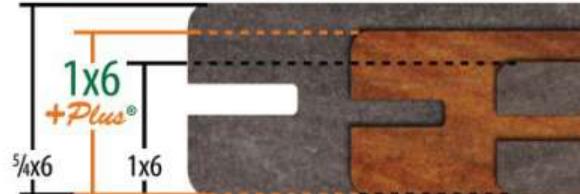
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PACKAGE DEAL

How to compare kits to get the best price quote for your logs.

Perhaps the most frustrating challenge facing log-home shoppers is comparing prices quoted by different companies. It seems that no two kits are alike. Each manufacturer has its own idea about what should be included in a log-home package. One's standard item is the second's option, and a third may not carry the item at all.

Complicating the picture is the fact that log-home manufacturers do not all use the same building system. What may be necessary to construct one manufacturer's kit may not be required to complete another's.

Here, then, is a method for beating a path through the thicket of kit comparisons without getting scratched. Most log-home shoppers are not experienced builders, so they often lack the detailed

knowledge necessary to evaluate the completeness of a kit. It's easy to get lulled into a false sense of security by impressive diagrams or materials lists. If you're not careful, you may overlook the one question necessary to obtain an accurate price comparison: "What will I need that's not on this list?" Only by filling in the missing blanks for each kit you are considering can you discover which package offers the best value.

Areas that vary widely among kits: log dimensions (a tall, thin log requires less linear footage to complete a log wall than a shorter, thicker log); log gables (most include solid-log gables only as an option); window and door units (they range from cheap to top quality); subfloor system and dimensional lumber (they may be part of

option packages only); exterior and interior door and window trim; interior framing; interior doors; stairs; stair and loft railings; interior partition wall coverings (rarely included in a basic kit price); soffit and fascia; shingles; exterior wood preservative; porch and deck materials (often part of optional packages only).

Trust the System

The secret to a realistic comparison is a systematic approach. First, decide what actually needs comparing. If your objective is a turnkey house (one that will be completely built and finished by a professional builder), comparing kit prices may be largely irrelevant. What the turnkey shopper needs to compare is the bottom-line finished house price.

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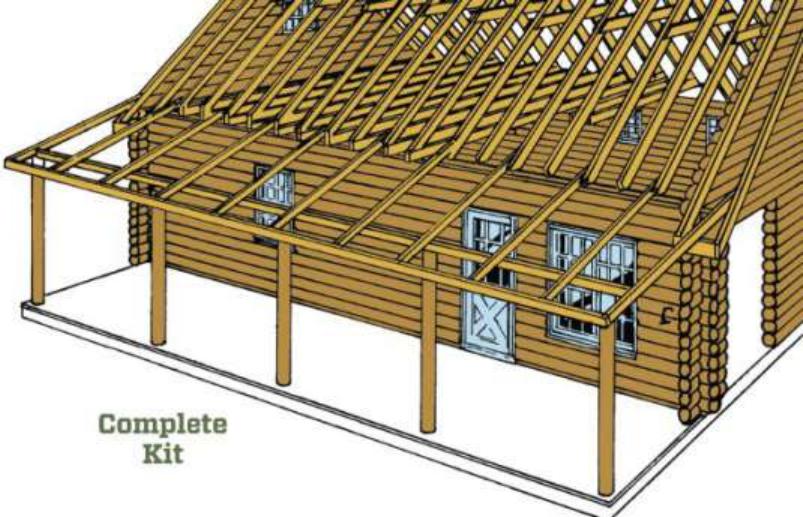
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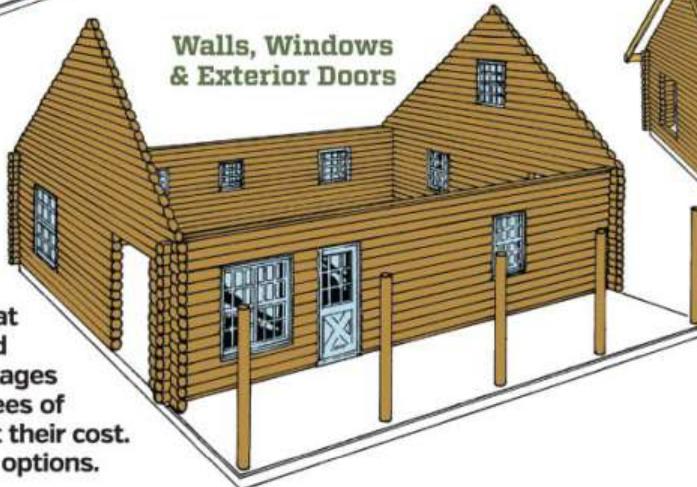
Sample Log Packages



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Most log-home companies sell material packages, called kits, that contain the wall logs and other components. Packages are sold in varying degrees of completion, which affect their cost. Here are some common options.

You can figure this by taking the kit prices with blueprints and material lists to the builders you are considering. They will provide a turnkey quote that includes all the work that you specify. All you need do is compare turnkey bids.

If you are planning to erect your own log package or act as your own general contractor, price comparisons are more difficult. First, make sure each quote has a detailed materials list attached. You must know exactly what you are purchasing. A good book on carpentry (not just log-home building) is invaluable because it can illustrate and explain terminology in the lists that may be unfamiliar to you.

Break the material list into sections. Then set up a chart with sections and individual items in a column and names of the kits you want to compare in a row across the top. Next to each item, note whether it is included in the kit. If it isn't, ask the kit manufacturer if that

item will be necessary or desirable to complete the house. Then call a local supplier to get an estimate on it. Place that cost figure into your quote comparison. You can omit items beyond the scope of any of the kits (plumbing or light fixtures, for example).

Because manufacturers do not organize their materials the same way, it may be easier to establish your own section headings, such as First-Floor System, Wall System, Second-Floor System, Roof System, Interior Framing System, Dormers, Porches and Breezeways, Decks, Garages.

Beneath each section, list the items necessary to complete that system. Under First-Floor System, for instance, list support posts, girder beam, sill sealer insulation, treated sill lumber, band lumber (to surround the subfloor), floor joists or beams, joist hangers (necessary in certain situations), subflooring and finished floor covering

(wood, carpet, vinyl, etc.). Don't forget to list glue, caulk, nails, screws and other fasteners; all are necessary parts of the building system, too.

Crunch Real Numbers

Try to deal only in hard numbers. When you have to make an assumption about something, write it down and verify it. If you are comparing a kit that includes a subfloor system with one that doesn't, take your blueprints or a floor plan to your local lumberyard and ask how much a subfloor system costs that meets local building codes. Add this figure to the price of the kit that lacks a subfloor (don't forget the cost of delivery). Now you have a better idea of how the two kits compare.

Your comparison should include the grade and quality of items that each kit contains. Often a seemingly more expensive kit actually is a better value because it contains a higher grade of certain

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materials. One kit may have a top-of-the-line window, for example, while another includes an inexpensive unit. One company may base its quote on an 8-inch-thick log against a competitor's 6-inch log.

Labor costs to erect the package are another area for detailed comparison. If you are having your kit erected, get firm estimates from builders who can do the work. You may even be able to transfer some of the work of comparing kit materials to the builder. Instruct him as to the degree of completeness that you want. Tell him to include the price of any materials necessary to reach the stage of completion that are not in the kit. But beware! Should a builder neglect to include something significant (such as a subfloor) in your estimate, don't expect him to eat that cost, even if it is his error. Instead, he may simply disappear, leaving you to pay for the missing materials and find another builder. The moral is: Have confidence in any builder before you turn over such a task, but be sure to keep a close watch and ask questions.

Delivery Charges

Don't assume that dimensional lumber and items such as shingles purchased locally are more economical because of savings in freight costs. Most log packages are shipped by the truckload. It doesn't cost any more to ship a truck that contains a half-load of logs and a half-load of other building materials than it does to ship that half-load of logs by itself. Because the buying power of the log company is generally better than an individual's buying power (log companies often deal directly with manufacturers and sawmills), it may actually be cheaper to purchase even dimensional lumber, such as 2-by-4s, from the log company.

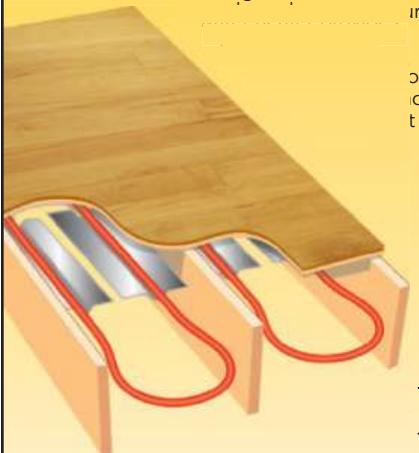
Avoid being wooed by offers of "free freight." There isn't a trucking company in the country that will haul a tractor-trailer load of logs free of charge. Log companies offering "free freight" are simply building the freight cost into their kit price. It may work to your advantage, or it may not. If

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Another factor to weigh in any kit comparison is the log-home manufacturer and its sales representative. One company's package may be slightly more expensive than another's, but you feel more comfortable dealing with that company. How much is that peace of mind worth to you? One company may include on-site assistance, while another provides a detailed construction manual or video. Which is more important? And how do you include those factors in your cost analysis? The answers will depend on your personal situation.

Finally, consider your building circumstances. Perhaps you are hiring a builder or taking your vacation to erect your log kit. It is probably to your advantage to have all of your materials on site at one time, so a more complete kit may be more desirable. On the other hand, you may be erecting your log home yourself on weekends, working when time permits, paying cash as you go to avoid a large loan commitment. In this case, it may be better to purchase a more limited kit. Doing so avoids not only the larger cash outlay, but also costs and concerns for material storage and protection. Why pay in advance for materials that, once purchased, sit on the building site for several months before they are needed?

So consider your wants, your needs and your circumstances carefully. Research thoroughly and keep your eye firmly on your bottom line. You'll be more confident in your selection of a log package. You'll also gain a better understanding of what will be involved in putting up your log home, and you'll have the peace of mind that comes from having a solid grip on this crucial part of your overall house-building budget. 

— Jim Cooper



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AIRTIGHT CASE

Log-homes' proven energy efficiency goes beyond R-value.

Log homes at first glance appear to be an unwise energy choice. Wood's R-values pale compared to manufactured foam or fiberglass insulation. Log homes have the additional challenge of gaps, not just where windows and doors occur, but also where logs touch each other. These joints occur many times in log walls. From a performance standpoint, however, log homes boast superior joinery systems and sealing materials to

assure exemplary weathertightness.

This disparity between low R-value and efficient energy performance revealed itself during the energy crisis of the 1970s, when many states enacted stringent energy-conservation building codes. Would-be log-home owners in many areas were denied mortgages or building permits based on low R-value ratings. Log homes built prior to the adoption of these energy codes presented

conflicting evidence, notably testimonials by log-home owners whose utility bills were equal to or lower than their neighbors' "stick-built" homes.

The log-home industry called for testing and a fair hearing for log homes to resolve the issue. The National Bureau of Standards responded by undertaking an extensive study comparing log walls, insulated and uninsulated stud-framed walls, and insulated and uninsulated

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masonry. The results showed that log homes equaled or exceeded insulated stud-framed construction, the next best performer, during all seasons except winter. In winter, logs and insulated framing showed virtually identical energy use. During the summer, the log structure used 24 percent less energy than its nearest competitor. During spring and fall, log homes led with 46 percent lower energy consumption.

The NBS study substantiated claims by log-home manufacturers and enabled log homes to be included in federally backed mortgage-lending programs. Most importantly, it established log homes' reputation for superior energy efficiency.

This reputation may have had some unintended side effects. Eager log-home buyers have stretched their energy-performance expectations for log walls beyond the results demonstrated in any testing. Some seem to have expected their utility bills to disappear altogether. Some people — consumers and sales representatives — have let the study results stand as the final answer to the energy-efficiency question, without considering the influence of factors outside the scope of the NBS testing that can still have considerable impact — positive and negative — on the energy efficiency of a log home.

Boosting Performance

Areas of special importance that should be included in discussions of energy efficiency are design, construction methods, maintenance and house siting. Failure to consider these aspects when planning a log home may result in a house that falls short of its owners' expectations, even though this failure is certainly no fault of the logs.

Proper design is important to the energy efficiency of any home. The wall and roof areas devoted to windows, doors and skylights have a significant effect on utility bills. Large amounts of glass on north-facing or constantly shaded areas carry a price tag in winter utility costs. Expansive cathedral ceilings, while popular, don't contribute to energy efficiency,

5 Tips for Better Energy Efficiency

Buy bigger logs to increase walls' thermal mass — the capacity to absorb, store and release heat as outside air temperatures drop.

DESIGN the home to take advantage of sun and shade and for protection from the wind.

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ENSURE tight seals wherever materials join: around windows and doors (right), where logs contact each other, and between the walls and the roof.

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even with ceiling fans. Corners and roof intersections are notorious as points of energy loss. Houses with many corners and roof angles will have greater energy demands than simpler designs.

The location of fireplaces, another favorite log-home design feature, should be chosen carefully. Interior chimneys, which are protected from fluctuating outside temperatures, are more energy efficient than those located on exterior walls. An exterior masonry or stone chimney on a north-facing wall will place high energy demands on the home's heating system in winter. Regardless of design, a good fireplace is less energy efficient than even a basic wood stove. Heating a modern multi-room log home by fireplace alone to comfort levels acceptable to today's homeowner is simply unrealistic.

Roof overhangs affect not only energy efficiency, but also maintenance requirements. Wide roof overhangs protect log walls from rain and direct sunlight. Such protection helps to slow the weathering of logs, which in turn can reduce maintenance time and costs. Careful design and placement of overhangs can influence solar gain, providing advantages in both winter and summer. For example, a tapered overhang over south-facing glass in a prow front can shade the windows from the direct rays of high summer sun while admitting bright, warming light from the low winter sun. The result will be cooler rooms in the summer, warmer ones in the winter.

Building Tactics

Construction methods and log system design can significantly affect utility costs. Corners and joints between logs must be carefully sealed with materials that can withstand log shrinkage and the seasonal movement that normally takes place. Construction details designed to accommodate settlement should be engineered to prevent seals from being compromised as logs settle or settling adjustments are made. Cathedral ceilings made from tongue-

and-groove should be backed by a good vapor barrier. Depending on house size, there may be several thousand feet of joint in one tongue-and-groove ceiling. Foil or paper facing on fiberglass insulation isn't up to the task of preventing air movement through such a ceiling; however, large foam-core panels are effective insulators with minimal connecting points.

Routine maintenance is vital to getting optimum energy efficiency from a log home. Exterior log sealant should be applied regularly as needed. Houses fully exposed to sun and wind usually need more frequent attention. Exterior caulking should be checked periodically, and torn or stretched caulking replaced. Large checks in logs should be caulked to prevent them from filling with water, which can lead to decay and air and water infiltration. Seals around windows and doors should be inspected periodically, replacing or touching up caulking and chinking as needed. While log-home maintenance requirements are few and usually simple procedures, failure to adhere to them can result in a substantial energy loss.

House siting is an often overlooked area affecting log-home energy efficiency. The type of lot and house placement can have an impact on energy efficiency measured in utility cost dollars. As already stated, houses exposed to sun and wind will require more energy than houses in sheltered settings.

Another consideration is your energy source. Power generated by sun, wind and geothermal systems costs substantially less than that provided by utilities and fossil fuels, regardless of how efficiently that power is applied. By installing off-grid and other alternative systems, you'll reap the benefits, notably savings, from the outset.

So, are log homes energy efficient? If you look beyond mere R-values and measure actual performance, taking into account all the factors that affect energy use when planning and building the home, the answer is definitely "yes." 

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Hybrids Gain Popularity



Expedition Log Homes photos

Just as hybrids have improved gas mileage for automobiles, so the concept has energy-efficiency implications for log homes. The term "hybrid" encompasses a broad range of styles and construction methods. Applied to log homes, it typically means a conventionally built, well-insulated home that superimposes logs for looks, although it may involve using some logs structurally, especially for roof trusses. Other times, "hybrid" might mean a stacked-log home that features timber-framing aspects inside.

The most common hybrid form is the half-log, or super-insulated, home, which has been around since the 1970s. It originated to add comfort in cold climates, but its design versatility made it popular in moderate climates.

As the popularity of log homes grew in the early 2000s, homebuyers discovered that hybrids allowed them to modify the log look, using logs non-structurally to add character and style to homes. Homeowners who choose this method also say it makes finding a builder easier. An added benefit is the flexibility in design options. Some very interesting design elements can be produced. That's why this type of home and feel has established itself as a legitimate log-home style.

There are definitely some monetary advantages to hybrid log homes, which typically cost less than a hand-crafted, full-log home. Acknowledging the consumer-driven log hybrid trend, dozens of log-home companies, both manufacturers and handcrafters, now offer homes that combine logs with other building components.



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FOCUS ON FINANCING

Building a log home requires two kinds of loans.

All too often, we figure out how much we think we can budget for a mortgage and expect a lender to agree. Unfortunately, financing doesn't work that way. To get an idea of how much a lender will approve for financing, multiply your annual income by 36 percent. Next, subtract the money you spend each year for paying down debts (car loans, student loans, credit card balances) and for taxes and insurance on real estate. The answer is the amount most lenders believe you can allocate toward your monthly mortgage payment.

To confirm your status, arrange to get pre-approved for financing. The process varies from a simple telephone interview to a detailed inspection of income-verification documents.

It's important that you find a lender who understands the marketability of

log homes. Lenders who make standard loans only on existing conventional home purchases may not be very interested in lending on an unbuilt custom home because their appraisers may not be able to find comparable homes to determine potential resale value once the home is built. Lenders whose experience is limited to conventional homes may not understand how log homes are built. If they believe log homes are still cabins in the woods, for example, they may feel uneasy about making a loan on one.

To satisfy lenders' requirements for making loans on custom-home projects, you'll need additional documentations: construction drawings, soil and other tests, permits, supply list, budget, log producer's information sheets, builder's list of qualifications on similar projects. If you're planning on doing much of the

work yourself or if you're going to be the general contractor overseeing subcontractors, expect to produce documentation verifying your qualifications.

Two Kinds of Loans

Knowing how much of a mortgage loan you qualify for is crucial, but it's far from being the whole story. Building a log home also requires a construction loan. As its name implies, this loan covers the cost of actually building your home, from site preparation to certificate of occupancy.

The construction loan usually carries a higher interest rate and a shorter payback term than a conventional mortgage loan. Its appeal to the borrower is that it entails paying only interest. When the home is built and approved for occupancy, the mortgage loan pays off the construction loan and takes over



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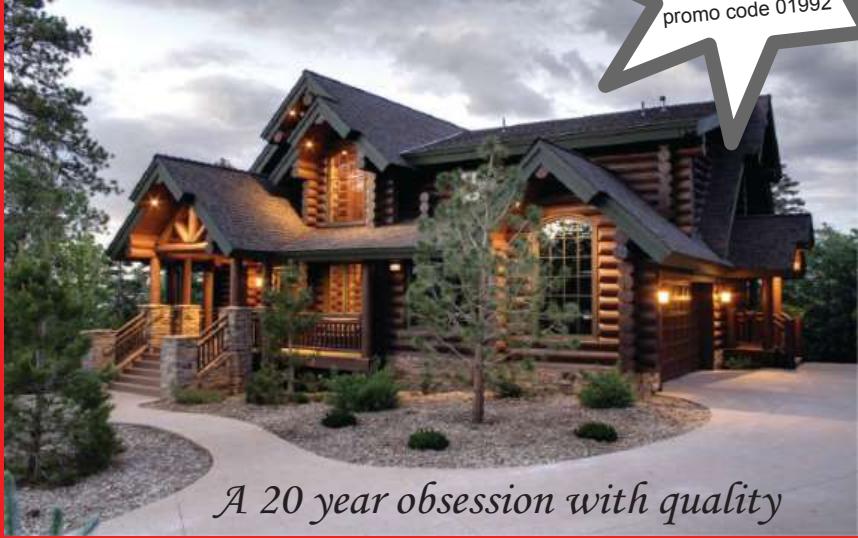
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the financing of the finished home.

When you apply for a construction loan, you'll need certain documents in addition to your own financial statements. Among these items are proof you own the land where you're building, a sales contract from your log producer and a receipt for your deposit on the package, final blueprints and specifications, estimates or bids from contractors and subcontractors, and a building permit.

If borrowers have trouble getting financing, it usually involves the construction loan. Some banks shy away from them because they involve more risk. Unlike mortgage loans, construction loans have no dwelling to secure the loan and sell if the borrower forfeits, only an assortment of building materials and possibly land, if the borrower used the property for collateral. The risk is even greater, in most lenders' eyes, if the borrower is the person who'll be performing or supervising construction.

The ideal situation is finding a lender who'll handle both your construction and mortgage loans. A few companies even specialize in both types of loans specifically for log homes.

After an appraiser uses final plans and specifications, regional property values and comparable existing homes in your area to develop a value figure for your proposed home, the lender determines the loan-to-value ratio (usually 90 percent) and issues a commitment letter that indicates formal approval for the loan. This letter is required before construction funds are approved because it guarantees that the construction loan will be paid in full by the long-term mortgage loan when the home is completed.

The final step is the actual closing of the loan. All terms are legalized, and papers are signed.

Draw Schedule

A characteristic of construction loans is the draw schedule. This involves scheduling payments over a specified period of time to meet expenses as they

occur. Such an arrangement ensures that work is performed according to a schedule to turn the building materials into a home. The number of draws and percentages of the loan disbursed vary according to the terms stated by the lender. For instance, some lenders will pay for the log package on delivery; others may withhold payment until it is actually erected. Be sure the terms of your construction loan are in accordance with your log-home producer's requirements so that delivery and erection proceed smoothly.

A typical draw schedule might call for four to six payments, spread out to cover site prep and foundation excavation; the cost of the log package after it's delivered, erected and under roof, and the windows and doors have been installed; after the electrical wiring, plumbing and heating-cooling systems are installed and approved, cabinets installed and interior doors hung; and the balance after the remaining interior work is finished and the occupancy permit issued.

Regardless of how your draw schedule is arranged, the lender will inspect the progress of work up to that point and approve the disbursement of funds. In some cases, the lender may withhold the final payment until you have lien releases from the contractor and all subs.

Self-discipline is required with regard to change orders. It is tempting, once construction is under way, to decide to fine-tune the project or even upgrade the finishing work. But the loan was based on carefully calculated figures. There's always going to be some wiggle room, and you should have a contingency set aside for unanticipated expenses, but indulge yourself during the planning stage, not after the project has begun.

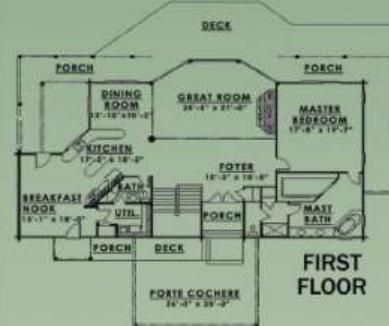
If you've tied up all your cash and need some money for contingencies and to pay for materials or labor before the first scheduled draw, you can apply for a bridge loan. This interim measure may be a small commercial loan or a home-equity loan on your existing residence. **L**

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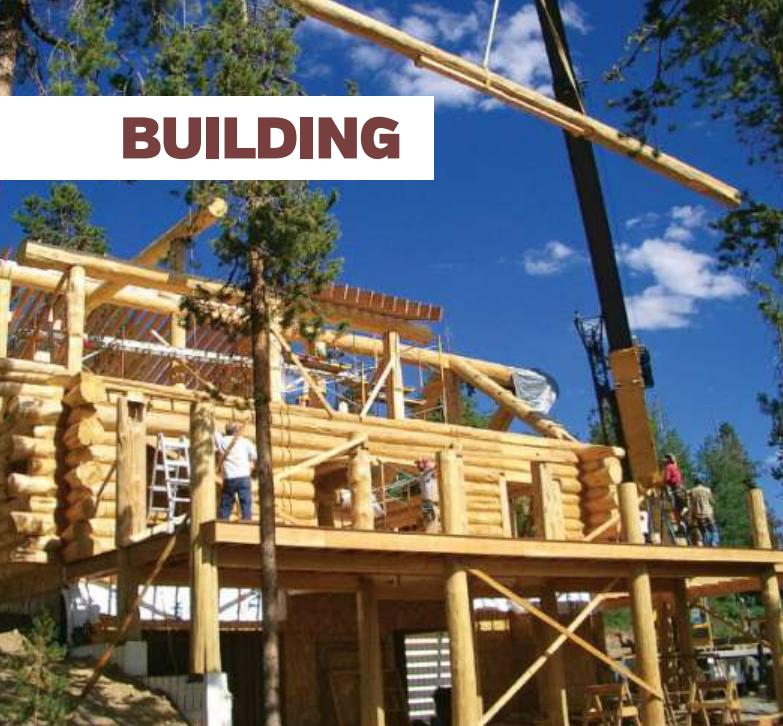
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BUILDING



CONSTRUCTION TIMELINE

A step-by-step guide to building a log home.

Building a log home is an exciting prospect but can seem a formidable challenge. Once the sequence is revealed, the process seems less intimidating and can proceed in an organized manner.

Preparing for Construction

Planning to build a log home can take from months to years. Finding just the right location, choosing a log-home provider, settling on a design, estimating costs, arranging for contractors and subs and securing financing are all grouped into what professional builders call “pre-construction activities.” Although thorough preparation during the pre-construction period greatly improves the ease and efficiency of building, the real excitement begins the day materials and workers first arrive on your land to start turning your log-home dream into a reality.

Site Preparation. Although log homes can be built almost anywhere, most log-home enthusiasts favor the freedom and seclusion of larger, more rural locations. So, construction often begins with basic site preparation, including an entrance road, well and septic system. It may even be necessary to bring in electrical and phone service.

Road Building. A solid, all-weather road is often the first order of business. The excavator scrapes a roadbed, clearing it of trees and topsoil. A bed of large stone several inches deep provides a solid base for everything from pickups to concrete trucks and the eighteen-wheelers that will deliver the logs and other materials. At the end of construction, the road will get a layer of finer stone and perhaps a surface of asphalt or concrete.

Clearing. As part of road preparation, the excavator often also clears the building site, using a front-end loader to remove trees and loose surface rock. If the project includes a septic field, the excavator may clear trees from the designated area as well. Before going further, it's a good idea to cut any downed trees

into firewood and remove stumps. Savvy builders make sure firewood is stacked well out of the construction and material storage areas. A wood chipper can reduce treetops and limbs to mulch that will come in handy during final landscaping.

Well. The first heavy equipment to follow the road builder is often the well driller. Depending on depth and ground conditions, well drilling can take from a few hours to several days. The actual water line connecting the well to the house will be installed after the foundation is in.

Septic System. Just as many log homes rely on wells for water, they also need a septic system to dispose of waste. Septic systems generally consist of a tank and tiles or perforated pipe to carry wastewater from the tank into a septic field consisting of a series of trenches or pits. There the water seeps back into the ground to be filtered by soil particles and purified by microorganisms. Because geology and soil conditions are important to the efficiency of a septic system and the purity of water returning to the soil, they are often closely monitored by local health departments. In many areas, health regulations require that licensed subcontractors install the septic systems.

While the septic system may not be installed until late in construction, the location of the tank and field should be marked before construction begins. Sometimes it's necessary to store building materials in the septic area, something obviously not desirable once the system is installed.

Utilities. It's always a good idea to have electrical service available when construction begins. Construction using a generator proceeds slower and is usually more costly. In many areas, the utility company runs phone lines along with electric lines, making this an opportunity to arrange for phone service. The electrical subcontractor can provide a temporary service head with a circuit

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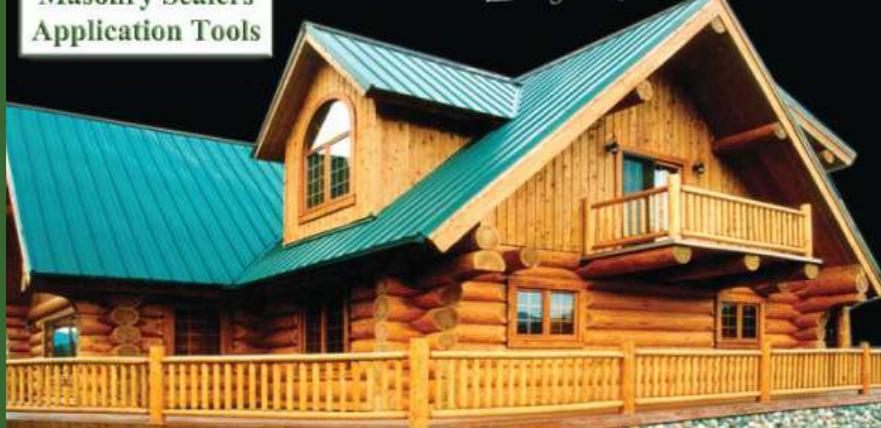
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breaker box and phone jack. Once the house is closed in, the service panel will be moved to its final location.

Now, before construction shifts into high gear, is a good time to bring in a portable toilet and prepare temporary storage for construction materials and tools.

Breaking Ground

Excavation. Once the building site is prepared, the builder lays out the foundation and excavation area using stakes or batter boards. These markers guide the excavator, who scoops out a rough pit that will hold the foundation. If the house will rest on a concrete slab or crawl space, excavation may be nothing more than a trench dug with a backhoe to hold the footings.

Footings. Footings are a solid base of concrete or stone that support the foundation and ultimately the whole house. Regulations (and good sense) require that the footings rest on undisturbed solid soil. The base of the footing must be below the maximum depth of frost penetration, which varies with location. Local building codes specify this depth, ensuring that the footings will not be influenced by the expansion and contraction that results from soil freezing and thawing.

Foundation

Log-home foundations vary as much as the homes themselves. The most popular foundations are poured concrete and masonry block, although some home-builders use wood foundations, pre-cast concrete panels and even foam blocks that can be stacked and filled with concrete. Contrary to some beliefs, few log homes require a "heavy-duty" or special foundation.

Walls. To install a poured wall foundation, the contractor erects forms into which concrete is poured. When the concrete is dry, the forms are stripped away. The entire process typically takes three to five days. Block walls require the services of a masonry contractor, who lays

up several courses of block over a period of days, allowing time for mortar securing the block to dry.

Drainage and Waterproofing.

Good drainage is the key to a dry basement. Most building codes call for drainage tile or perforated pipe to be laid around the footings or base of the foundation wall. If the topography of the building site doesn't allow this pipe to drain at the surface away from the house, the pipe is directed into a sump crock in the basement floor where an automatic sump pump carries water up and out onto the surface away from the house. Foundation walls are usually protected with a waterproof coating and sometimes with a layer of rigid insulation.

Plumbing Groundwork. Unless the plumbing for the house will exit above the foundation, the plumber usually makes his first appearance during

foundation construction. Before footings are poured, the plumber may place a piece of pipe, or "sleeve," in the footing trench where pipes for water and septic will cross. This will prevent having to tunnel under footings or break through walls later. After the foundation walls are poured and before the foundation slab, the plumber installs any drainpipes or water line that will lie beneath the basement floor.

Fireplaces and Chimneys. If plans call for a stone or masonry fireplace, the foundation contractor usually digs and pours a footing and supporting walls for the chimney as part of building foundation walls. Masons will construct the fireplace and chimney as the log shell is being completed. If the home includes a "zero-clearance" fireplace — a metal unit set into a framed chimney — no footings or support walls are required (although carpenters may

add extra joists to the subfloor under the fireplace area).

Backfill. Once the foundation is completed and drainage and waterproofing measures are installed, the excavator returns to backfill and rough grade. This step consists of filling the area around the outside of the foundation to a level slightly higher than the final surface (to allow for soil settling) and grading the surface so water drains away from the foundation. Backfilling can be delicate work due to the weight of soil piling against the new foundation. Builders often add additional bracing to foundation walls or wait to backfill until after the subfloor is complete.

Subfloor

The subfloor of a log home is usually no different from that in a conventional home. Floor joists are laid over a system of girder beams and support posts. Deck-

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ing of plywood or oriented strand board (OSB) is secured on top of the joists. Floor trusses provide an alternative to joists and allow greater spans reducing the number of support posts needed.

Erecting the Log Shell

Delivery. Delivery day marks a high point for most new log-home owners. As the eighteen-wheelers bearing logs, beams and assorted other materials snake up the entrance road, it means that someone's dream is finally coming true.

Careful planning for delivery day can ensure that the mood isn't spoiled. Good builders confirm, in advance, that the delivery trucks can navigate the entrance road. Steep slopes are less a problem than sharp turns. Inability to turn an 80-foot-long rig around at the building site may mean last-minute changes to unloading plans. The fewer such surprises on delivery day, the better.

It's wise to have an idea where mate-

rials will go when removed from the trucks. Generally, logs and materials used earlier in construction should be placed closer to the foundation, preferably on the high side of sloping sites. Lugging logs and lumber uphill not only aggravates workers, but also takes valuable time away from construction. Having the log-construction crew or carpenters unload the trucks can help ensure that materials are stored efficiently and workers get a head start on knowing where to find things.

Log Walls. Log work begins by laying out the first course of logs on the subfloor. Builders often take this opportunity to mark the location of electrical outlets, switches, windows, doors and partition walls. This is the beginning of turning paper plans into reality, and sometimes things need adjusting, such as window, door or electrical-outlet locations.

Actual log work varies with the type of system being used. Milled, pre-cut logs are usually stacked and secured in segments, moving around the house so that wall heights remain fairly even as walls go up. It's especially important to make sure log walls stay plumb (vertical) and corners remain square. Good builders check plumb frequently using a level or plumb bob. Comparing distances between diagonally opposite corners quickly reveals when corners are slipping out of square.

Log homes built with large logs, such as handcrafted homes, often require the use of a crane, transferring much of the lifting from people to machine. If much of the log preparation has already taken place at the manufacturer's plant or the handcrafter's yard, then large, pre-fit, full-length log wall systems can be erected quickly, sometimes in only a few days.

Whether the home is manufactured or handcrafted, many systems require

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construction methods that allow for the settlement that occurs as a result of logs shrinking. Space left at the top of window and door openings allows units to operate freely as log walls settle. Posts placed on adjustable jacks that can be lowered to match any change in log wall height may

Insulated Log Systems. Not all log walls are made from solid logs. Some log-home companies offer an insulated-log alternative. These log homes use half-logs applied over conventional framing. While they look like a solid log home from either inside or out (unless the

al-lumber joists and plywood decking, or it may consist of exposed square or round beams covered with 2-inch-thick decking). After setting the exposed beams, carpenters often use the roof sheathing as a temporary second floor while they frame the roof, passing the sheathing up to the roof

Building a log home is a process that unfolds according to a predetermined schedule. That means materials and subcontractors have to be ready when needed; otherwise, delays may result that can lead to bigger delays, cost overruns and frustration.

support second-floor and roof systems. Interior partitions may be framed to include a space that will allow for log settling also. While the thought of changing wall height causes concern for some people, settlement is a normal part of a horizontal log system and presents no problems as long as proper construction methods are used. To reduce settlement potential, some log-home companies kiln-dry their logs, removing some of the moisture in the logs before construction.

homeowner chooses to use another type of wall covering in some areas), the core of the wall is similar to a conventionally framed house. In insulated log homes, builders may wait to apply the half logs until the roof is on.

Second-Floor Systems. After the log walls, the crew moves to either the roof (on one-story houses) or to the second-floor system. The second floor may be framed conventionally using dimension-

when framing is complete. Then they can install the second-floor decking under cover of the roof.

Roof Systems. Log homes use a variety of roof systems. The simplest are conventionally framed roofs, just as in other types of home. But many people choose log homes for the distinctive look of exposed-beam ceilings, which require different construction methods. A roof of exposed beams may be made using tim-



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ber or log rafters or purlins. Rafters run from the top of the log wall to the ridge while purlins run parallel to the log wall.

Framing a conventional roof begins with setting ridge and rafters. Carpenters cover the rafters with plywood or OSB sheathing and tarpaper. Roofers then apply the final roof covering – shingles, metal, wood shakes or tile. Later,

over the large timbers and a vapor barrier secured to the decking. Rigid insulation laid on top of the vapor barrier is covered with sheathing followed by tarpaper and a final roof covering.

Interior Framing. Interior partition framing in a log home is similar to any other type of home. Some builders

Installing mechanical systems requires more planning for a log home than for conventional homes because of the impenetrability of log walls. Some homebuyers opt for stud-framed partition walls inside their home to accommodate specialty subcontractors unaccustomed to log construction.

insulation will fill the spaces between rafters. In cathedral-ceiling areas, ceiling coverings are secured to the rafter bottoms. For flat-ceiling areas, ceiling joists are added. Insulation may be added above ceiling joists after the ceiling coverings are installed.

A log or heavy-timber roof system begins with placement of the log rafters or purlins. Wooden decking is secured

attach partition framing to logs using “slip” connections — nails or screws driven into the logs through slots in the framing. The slots prevent fasteners from interfering with log settlement. In some systems, interior partitions are framed to include a space below the ceiling. This will prevent framing from interfering with settlement adjustments. The settling space will be concealed behind trim

after interior wall coverings are added.

If plans include a zero-clearance fireplace, carpenters frame the chimney and fireplace opening along with other interior framing. The fireplace subcontractor installs the metal flue and fireplace unit.

Because tub and shower enclosures won’t pass through openings in the fram-

ing, the builder or plumber makes sure these units are on hand as framing starts. Carpenters secure them in their final position as they complete the framing.

Sealing the Exterior. To prevent weathering and eventual deterioration, exposed wood in logs and trim should be protected with a wood preservative. Preservatives especially formulated for log homes are readily available and offer

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long-lasting protection. To get maximum protection, the preservative should contain a pigment that blocks ultraviolet rays from the sun. Clear preservatives offer no UV protection, which can lead to premature weathering of the wood.

Preservatives are easiest applied before window and doors are installed. Openings can be covered with plastic to prevent chemicals from blowing inside and staining walls. If the home requires caulking, this may be applied before the preservative to ensure a good bond with the wood. Chinking is often applied after the preservative to maintain the color contrast between chinking and logs.

Doors and Windows. Once the roof is covered to protect the interior and the exterior is sealed, carpenters install doors and windows to provide a complete weather-tight shell. Often homeowners save time and money by pre-finishing door and window units while the shell of

their home is being built. At this point, the log home may look near completion on the outside, but much work remains indoors.

Mechanical Systems

Together, plumbing, heating and cooling are referred to as the mechanical systems, or "mechanicals." Specialty subcontractors, who may be individually licensed for their particular trade, usually install these. Mechanical work is divided into two parts: "rough-in," which takes place before wall framing is concealed behind coverings, and "finish," which takes place near the end of construction.

Plumbing. The plumber will usually arrive first because the location of pipes is the most restricted. The plumber installs all pipes that will be concealed within walls and hooks up the tubs and showers that were placed during fram-

ing. He may also connect the well and septic to the house at this point and place the reservoir tank. After all pipe runs are complete, the plumber caps open ends and pressurizes the pipes with air to test for leaks. Finally he calls for a rough-in inspection of the work.

Heating, Ventilating and Air Conditioning (HVAC).

To reduce possible conflicts between pipe and duct placement, good builders usually make sure the HVAC contractor and plumber know each other's needs before rough-in begins. While the plumber is busy, the HVAC subcontractor may be measuring for ducts. Ductwork is often fabricated at the subcontractor's workshop and then carried to the job site for installation as soon as the plumber finishes roughing in pipe work. Sometimes the subcontractor installs inside heating and cooling units now.

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Electrical. The electrician is usually the last to arrive. It's easier to snake wire around pipes and ducts than the reverse. The electrician places outlet and switch boxes and strings wire back to the power source, usually in the basement, garage or utility closet. He may also transfer the temporary electric service, located outside, to its final location. As with the plumber, the electrician finishes by calling for an electrical inspection.

Rough-In Inspection (Close-In). Following completion of all mechanical rough-ins, the builder calls for a framing inspection. The building inspector first makes sure all necessary mechanical inspections have been passed. Then he examines framing to be sure that proper construction methods were followed and that mechanical subcontractors didn't inadvertently affect the structural stability of the framework in installing their pipes, ducts and wiring.

Interior Wall Finish

An approved framing inspection lets the builder start "closing-in" framing with the final wall coverings. On log homes, these are usually drywall or tongue-and-grooved (T&G) pine or cedar boards.

Drywall. Drywall is the least expensive and most popular wall covering. Installation consists of two steps: hanging and finishing. Drywall hangers quickly cover large areas of wall and ceiling, securing the drywall sheets with nails or screws. Finishers follow, taping and concealing joints with drywall compound. After joints are sanded, the walls are ready for the painter.

T&G. Trim carpenters often install T&G. Installation goes slower than drywall, but the result is a wood-covered wall.

Paint, Stain and Varnish

Painters usually follow wall-covering subcontractors. Arriving before the trim carpenters lets them move faster, covering large areas quickly with spray guns or rollers. Walls get a prime coat, followed by one or two topcoats. Wood T&G gets varnish or oil. The builder may also have painters apply finish to trim before it is installed to allow sealing the backs of trim pieces and speeding installation.

Exterior Finishing

While the painters are busy inside, carpenters finish outside porches and decks. Once all outside work has been finished, the excavator returns one last time for final grading, spreading topsoil and preparing the site for landscaping. Installers add gutters and downspouts to catch and carry away rainwater.

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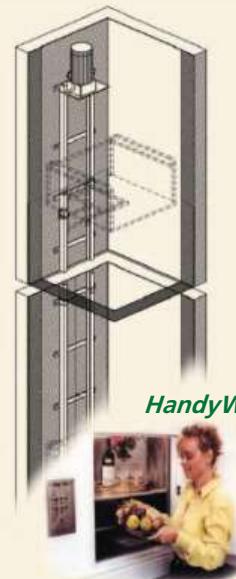
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Cabinetry & Floor Coverings

Floor Coverings. As soon as painters finish kitchen and bath areas, they are turned over to flooring subcontractors, who install tile, slate, vinyl or wood floor coverings. Because a lot of construction activity remains, carpet installers won't appear until the final stages of construction.

Cabinetry. As soon as kitchen and bath wall coverings have been finished and floor coverings installed, cabinet installers set to work in kitchen and baths. Cabinet installation in a log home is no different from that in a conventional home — unless plans call for cabinets on settling log walls. In such cases, cabinets may be secured to vertical furring strips that won't settle with the logs. In exposed areas, furring strips are covered with a tongue-and-groove or tile backsplash. In baths, installers set vanities and medicine cabinets.

fotolia.com/vvoc photo

Fixtures and Appliances

Now mechanical subcontractors reappear. The electrician installs switches and outlets into roughed-in boxes and sets light switches and appliances. The HVAC sub brings register covers and finishes any remaining connections. The plumber connects the septic line, installs toilets and sinks, and hooks up the dishwasher.

Interior Trim

While mechanical subcontractors complete their work, trim carpenters are applying finish trim to doors and windows. If the permanent stairs haven't been installed yet, they remove temporary stairs and build or set the final staircase. They also set door hardware, baseboards and any special moldings and trim.

Floor Coverings

Finally, the trim carpenters and mechanical subs wrap up, leaving the log home finished except for areas of bare sub-

floor. These quickly disappear as carpet installers complete the last step, leaving a completely finished log home ready for final inspection.

Wrapping Up

The final building inspection and "walk-through" with the new owners mark the end of four to six or more months of construction, involving 50 or more workers from several dozen construction businesses

or year
dream
ready
admire
by the new
owners. O

— J.
Cooper



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BUILDING BREAKDOWN

The entire construction process for a modest log home (built by a pro) ranges from four to six months, but it can run a year or more for large or complex designs. Factors that affect construction time include season, weather, availability of labor and the level of experience of the builder and subcontractors. The typical construction sequence involves the following steps:

1. Clearing & excavating

- Cut or grade entrance road or driveway
- Install culverts as needed
- Clear building site and material storage area

- Remove trees as needed
- Remove topsoil and store for reuse
- Excavate basement, haul or store soil
- Install septic tank and drain field

- Set concrete block for foundation
- Install permanent wood foundation
- Install waterproofing, parging or insulation board
- Install drain tile around footings

2. Pouring footings

- Stake foundation corners (surveyor may do this as part of plot plan)
- Install batter boards and layout lines
- Locate, stake and dig footings and pier pads
- Arrange footing inspection
- Pour concrete for footings

3. Installing foundation

- Lay out foundation on footings
- Install concrete forms for poured wall

4. Termite inspection

- Treat soil around foundation

5. Installing subfloor

- Install termite shield if included
- Install caulking and insulation
- Install, square and level sill plate
- Install posts, girder, rim and floor joists
- Install headers, trimmers and bridging
- Install subfloor material

MossCreek photo





**Whether you're seeking
more information about
the process of building your
dream home or looking for
DIY tips & tricks, our collection
of webinars and articles
is a great place to start.**

**Here is a sampling of the topics
you can read up on:**

- Choosing Logs (Profiles & Packages)
- Choosing Your Producer
- Energy Efficiency for Today's Log Home
- How Will Your Home Look and Live?
- Keep Your Eyes on the Prize
- Square Footage 101
- Staining Options for Your Log Home
- Your Log Home: Custom Design or Model Plan?

**Or sit back, relax and watch a few
videos and webinars:**

- Kitchen Confidential: Expert Tips for Bringing Your Dream Kitchen to Life
- Design Your Perfect Log Home
- Log Home Living: Cost Effective Design
- Developing Your Dream Home Budget
- Start Planning Your Dream Home Today

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Rocky Mountain Log Homes photo

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6. Backfilling & rough grading

- Backfill around foundation
- Rough grade slope for drainage
- Trench or excavate garage foundation, porch and deck piers

7. Preparing for your log package

- Confirm exact delivery time and unloading equipment requirements
- Confirm payment terms for materials and delivery
- Arrange certified checks if required
- Prepare material storage area
- Prepare access road
- Assemble equipment to unload logs

8. Unloading & material storage

- Unload materials, stack and store per instructions
- Check materials against shipping manifest
- Record damage and shortages as instructed

9. Erecting the log package

- Choose to erect your log home yourself or contract with a professional

10. Using technical assistance

- Construction manuals
- Video and slide presentations
- Onsite technical assistance
- Telephone technical assistance
- Other assistance

11. Installing the first course

- The specific procedure for installing the first log course will depend on the building system used. Consult your construction manual for detailed instructions.
- Lay out house by transferring floor plan to subfloor; mark locations for outlets and switches on the subfloor
- Review plans, dimensions and materials before proceeding
- Install starter strip, caulking, etc.

- Install first course of logs, per instructions

- Install door bucks, per instructions

12. Providing for electrical and plumbing systems

- Refer to construction manual for how to make provisions for installing mechanical systems. Generally, you will drill holes through logs to reach outlet and switch heights unless the holes are predrilled by your log company.

13. Stacking log walls

- Many methods exist for erecting log walls. Consult your construction manual for specific details. Consider:
 - Insulation, caulking, foam gasket installation
 - Butt joints and the use of spline materials
 - Fastening methods and devices
 - Cutting and notching for corners, if required



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14. Installing doors & windows

- Specific installation procedures depend on the manufacturer and type of units. Your construction manual should provide details. Considerations include:
 - Installation of window bucks including attachment methods to allow for settlement
 - Settlement allowances
 - Creating weathertight seals between walls, bucks and jambs
 - Keeping bucks square and plumb
 - Caulking, insulating and flashing

15. Completing the first-floor log walls

- Leveling top course, preparing for the second floor system
- Header requirements and maintaining a level window line
- Methods of handling logs over your head

16. Installing second floor systems

- Log home companies use a variety of second-floor systems. Consult your manual for details. Some guidelines:
 - Notching log walls to accommodate floor joists
 - Installing center girders and support posts
 - Installing dimensional, square or round beam floor joists
 - Installing second-floor flooring
 - Preparing for second-floor plumbing
 - Second-floor HVAC requirements
 - Installing headers, trimmers and stairs
 - Methods of handling settlement

17. Installing second-story log walls

- Determine your need for scaffolding and hoisting equipment
- Safety requirements for working on the second floor

18. Installing gables

- Log-home companies offer a variety of gable systems. Follow your construction manual. Topics to consider:
 - Installing solid log gable ends, precut or uncut
 - Installing framed and sheathed gable ends
 - Building around gable end windows
 - Maintaining plumb walls at gable ends
 - Special bracing requirements

19. Installing roof systems

- Roof systems vary greatly among log-home companies, and most offer several options. Consult your construction manual. Make sure builders and subcontractors follow the manual. Options include:

- Installing conventional roof system
- Installing a roof truss system
- Installing round log or square beam rafter systems
- Collar ties, purlins, king posts, ridge beams, etc.
- Roof sheathing

The advertisement features a large, two-story log cabin with a green roof and green garage doors. In the foreground, there are two smaller inset photos: one showing a living room with a stone fireplace and another showing a staircase and landing area. To the right of the cabin is the company's logo, which includes a circular emblem with a house and the text "TOMAHAWK LOG & COUNTRY HOMES INC.". Below the logo, the slogan "CUSTOMIZE YOUR DREAM HOME" is displayed in large, bold letters. At the bottom, the phone number "1-800-544-0636" and website "TOMAHAWKLOG.COM" are provided.

20. Installing porches & dormers

- Installation methods vary; consult your construction manual.

21. Completing log home package

- On completion of the log package, the remainder of work to complete the home is generally similar to a conventionally framed home. Consult your construction manual to see if there are any special requirements.

22. Installing interior partitions

- Interior partition framing is similar to conventional frame construction. The only deviations occur when the log-home company includes settlement spaces in interior partitions.
 - Connecting partition walls to exterior log walls
 - Installing framing for kitchens, baths

- Framing requirements for fireplaces and chimneys

23. Installing fireplaces and chimneys

- Installing stone, block and brick work
- Installing masonry or metal fire boxes
- Installing chimney cap, mantel, hearth

24. Installing roofing

- Installing roofing felt
- Installing flashing
- Installing shingles, metal, shakes, tile or slate

25. Installing electrical service

- Installing electrical service in a log home is similar to conventional construction. Considerations include:
 - Installing temporary service
 - Installing wiring, outlet boxes, fixture boxes, switches, connectors, service panel, circuit breaker

- Installing light fixtures
- Hooking up appliances
- Installing heating and A/C
- Installing special wiring for computers, home theater, security

26. Installing plumbing system

- The plumbing system in a log home is similar to conventional construction. Variations are explained in the construction manual. Basic considerations include installing the:
 - Main water supply line
 - Main sewer line
 - Water and drain-pipes and vents
 - Fixtures and faucets
 - Special equipment such as water softeners, sump pumps, pressure relief valves

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27. Installing heating & air-conditioning equipment

- Loghomes use the same kinds of HVAC equipment as conventional homes.

28. Installing interior wall & ceiling coverings

- Gypsum wallboard
- Metal corner bead tape, joint compound
- Tongue-and-groove paneling

29. Installing exterior finish and trim

- Window and door trim
- Fascia, frieze and rake boards
- Soffit and porch ceilings
- Porch posts, if required
- Gable louvers and soffit vents
- Garage doors
- Additional flashing
- Gable siding

30. Installing gutters, downspouts & splash blocks

31. Installing concrete floors, walks & drives

- Vapor and vegetation barriers
- Crushed stone
- Reinforcing wire or rods
- Forms and screens
- Expansion joints

32. Installing interior finish & trim

- Underlayment and flooring
- Interior doors and hardware
- Interior window and door trim
- Baseboard and shoe molding
- Wall molding and chair rail
- Cabinets and countertops
- Vanities and bath hardware
- Closet shelves and rods
- Stair treads, railings and balusters

- Mirrors and medicine cabinets
- Tubs and shower doors
- Drapery rods

33. Painting, sealing

- Apply interior paint, wood finish
- Apply exterior finishes and preservatives

34. Installing floor coverings

- Wood flooring
- Resilient flooring
- Ceramic tile and slate
- Carpeting and padding

35. Move into your finished log home!

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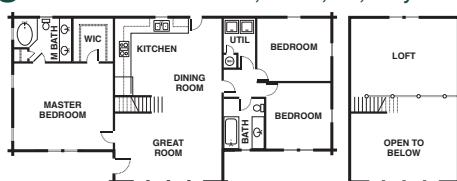


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You can save a significant chunk of change by acting as your own general contractor, but make sure you have the skills, time and knowledge before getting started.

INVEST TO SAVE

Your time might be worth money if you act as your own general contractor.

Do you want to save 30 percent or more off the price of your new loghome? You can by being your own general contractor. A nationwide survey by the Consensus Group of Provo, Utah, revealed that persons acting as general contractor in the construction of their residences saved an average of 34 percent off the contractor price of the house.

To join the more than 200,000 Americans each year who act as their own general contractor, you need to determine whether you have the right stuff to take on such a project. Here are 10 leading qualifications for owners who intend to be their own GC.

You come to the job each day prepared to fire people, if necessary.

This consists of being clear about what you expect and holding subcontractors accountable for it. You are writing the check, you are in power. You stage your payments so that you can pay for performance to date and release the sub if necessary. You can put your foot down if needed.

You are somewhat familiar with construction. You have interest in the subject of building and some aptitude, and you are willing to learn. You talk the talk of the trade. This can be learned from building shows on television, from home and builder magazines to which you can subscribe, from interviewing subs and from observing building projects, among other places. Even though you may not perform a given trade, you

can talk about it knowledgeably. However, too much emphasis on building knowledge can interfere with the exercise of good planning and management, your principal tools.

You communicate well. You make clear your expectations and make certain they are understood. You can talk to all kinds of people. You can win loyalty and build relationships with the team. You are capable of making endless phone calls to check on things.

You pay attention to detail. Winston Churchill, who liked to lay brick on his English country estate and was a competent oil painter, said, "Genius is the capacity for taking infinite pains." The tiny details done right add up to a distinctly superior house. You must be

prepared to take the time to see that things are done right.

You have job flexibility. Either you or your spouse needs to spend four hours a day or more on-site during construction. Many construction lenders interview their applicants about the circumstances of their employment to ensure this flexibility.

You have determination and problem-solving ability. You don't lie down at the appearance of the first knotty problem. There are several every week during construction. You will stick with them until they are solved.

You are financially motivated. Parkinson's Law is that work expands to fill the time allotted to it. A corollary is that a construction budget expands to the borrowing limit of the owner. If your limit is low, you will be more ingenious in finding ways to meet it.

You are organized. If not in general, at least for this project, you are organized to a fault. You will tend to the agreements, paperwork, schedule and budget tirelessly.

You are a good shopper. You can tell the differences in quality, can find bargains and won't overspend on anything.

You are a good student. You can watch well and learn quickly. You can get answers to your questions.

If you can meet the qualifications to handle the job, by all means consider assuming the role of general contractor. Here are 10 keys to assure the work proceeds smoothly. They are based on dozens of interviews with successful homeowners who served as general contractors on their home-building project.

At least 1,000 hours of planning. There are 2,000 hours in a work year, and it takes about six months of careful planning to build your own house. Our studies indicate that if you short yourself on planning, you will save less money and take longer to build.

Written list of features. Once you start construction, you will be tempted

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to make many changes to your original plan if you have not thought through your design carefully. A written list of room-by-room specifications ensures good design and saves money.

Spreadsheet budget and expense tracking. Putting all your cost estimates onto a computer spreadsheet instantly shows project savings. You can see what you've spent and what cost projections for the future are. You can take advantage of bargains and limit damage from overruns.

Written schedule. Very few owner-contractors commit their project schedule to paper. Those that do invariably finish their projects smoother and faster.

Three bids from subcontractors and suppliers for each item. It takes time to get bids from subs and compare them on paper. The effort results in an improved plan and tighter estimates of cost. Sometimes you

find big bargains by looking for just one more bidder.

Signed agreements and lien releases. Many owner-contractors have expressed regrets that they didn't get agreements in writing. A signed agreement can be your best defense in the event of a dispute. Signed lien releases, available from your lender, prohibit subs and suppliers from placing a lien on your new house.

Buy materials directly. Most subs like to provide their own materials, but experienced owner-contractors know that it costs more that way. Buy your materials separate from labor and avoid unwanted overhead charges. When you search for materials yourself, you find bargains, too.

Constant communication with subs. One of the biggest problems with being your own general contractor is that subs won't show up as promised. The remedy is to communicate early

and often with your subs.

Be on-site. Being your own general contractor can be very profitable, but it is also demanding and not something to be done on evenings and weekends. You or your spouse must be on-site during construction to ensure that all possible steps are taken to get you a well-built home at a savings.

Run a clean, organized job. It actually saves money to have a clean construction site where tools and materials aren't trampled and lost. By keeping the site clean, you will end up with a house that is satisfactorily clean and healthy to live in. 

—Mark A. Smith

Mark A. Smith is the author of *The Owner-Builder Book: How You Can Save More Than \$100,000 in the Construction of Your Custom Home* (\$19.95). Order through the website ownerbuilderbook.com or by phoning 888-333-2845.



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Decide Who'll Build Your Home

Acting as the general contractor appeals to more than a few log-home buyers, but that's just one way to get involved in building your home. Labor counts for up to 40 percent of a new home, so any contribution you make might lower your cost. Your involvement also carries risks, however, and may not save as much as you expect.

Licensed contractors and experienced builders know what they're doing and whom they're dealing with. Hiring subcontractors, for example, sounds easy – until you discover that the good ones are already working for contractors they've worked for before and hope to work for again. The chances of their giving up steady work to come help you just once are slim. Also, contractors might get better deals from suppliers they buy from regularly and in quantity. And builders who're experienced with homes from the company providing your log package know right off the bat what they're doing.

If you build it yourself, you'll likely be learning as you go – not the most efficient way to build. Novice builders make

costly mistakes, especially when they're emotionally invested in the project. What's more, being your own GC or building the home yourself increase your risk of being turned down by a lender. In short, the financial consequences can be severe and the stress level high.

That's why most buyers prefer to hire a pro. So, where do you find an experienced log-home contractor or builder? Start with your log-home company representative. Some reps just sell log packages. Others provide design and construction services. If the latter, they're known as builder-dealers. Some advertise their services in the directory of this issue that starts on page 148. They're listed by state, but keep in mind that many service other states, especially ones located near a border.

If your dealer is a builder, you're under no obligation to use that person's services. If you're building your log home in an area where log homes are fairly common, you ought to be able to locate several qualified candidates. Make sure the candidate's experience is with projects similar to your own in scope and size.

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MAINTAINING



PROTECT YOUR INVESTMENT

Regular maintenance will prolong the life and looks of your logs.

Wood is strong and durable, but it isn't invincible. Because wood is a natural material, it is subject to natural forces. The two greatest threats to wood's beauty and longevity are moisture and sunlight. Although these two potent forces won't by themselves significantly degrade the surface of your logs, they might set up conditions under which more destructive forces can get a foothold and, if ignored, prevail.

Keep Logs Dry

Protecting your log home is fairly simple. Best of all, you have the opportunity to set up a preventive maintenance program for your new log home at the outset. You will become acquainted with your logs when they are in their best shape. To keep them that way, you need to ensure they stay smooth and dry.

Some people believe that using certain wood species known to have natural decay resistance will relieve them of a large part of the maintenance requirement of owning a log home. What is a characteristic of the living tree will not necessarily be that of the log. What's

more, modern preservatives neutralize any natural advantage one wood species may once have enjoyed over another. The strongest wood left unprotected will succumb to the forces of nature sooner than the weakest protected wood.

Again, those forces that must be guarded against are sun and water. Sun breaks down the lignin in the wood. Lignin holds the wood fibers together. Once lignin has been broken down, water can wash away the now-loose wood fibers.

Watch for Fungi

Weakened wood is vulnerable to fungi,

PermaChink Systems photos

which feed on the sugars and starches in wood. Left unchecked, fungi will eventually destroy the wood. Of lesser concern than fungi are insects. Two kinds pose the greatest danger: termites and wood-boring beetles. Fortunately, you can easily guard your logs against these threats.

Several formulations of wood finish expressly protect logs. They add mildewcides, fungicides, ultraviolet blockers and water repellents to ensure maximum protection. High-quality, breathable wood finishes will keep additional moisture from penetrating the wood while allowing moisture inside the log to evaporate. Apply only products that are intended to protect log homes. Deck sealer is not sufficient. If you are in doubt about specific products to use, check with your log producer or its local sales representative.

Log homes are subject to varying conditions, which will determine the lifetime of the finish. The only way

to ensure permanent protection is to implement a systematic, regular maintenance program. It should begin even before you buy your logs. There are some simple steps you can take to protect your logs from the start and reduce the cost of maintaining your logs forever.

Design Defense

Above all else, design your home to shed water and shade sun. Caulk and coatings can do just so much. Besides, they eventually fail and need to be replaced. Good design lasts a lifetime.

Your practical aims won't interfere with the look of the home. In fact, you can actually enhance the home's distinctively log features.

Elevate your logs. Wood that comes in contact with the damp ground quickly succumbs. Splashing mud will hold moisture long enough to penetrate weakened protection. One way that actually improves the look is to set the logs on

a taller foundation, then face the block, poured concrete or permanent wood structural material with stonework or log siding that mimics the wall logs.

Extend roof overhangs to keep rain, melting snow and sunlight well away from walls. Porches protect against blowing rain and the overhead sun, as well as enhance your home's charm.

Gutters and grading help move water away from the house. Be sure lawn sprinklers don't reach the log walls.

When you landscape, keep any shrubs around the house from touching the logs; otherwise, they can trap water against the wood. Although you might prefer to shade the house with trees, don't keep them so dense and close that some sunlight and breezes can't get through to help dry the logs.

Begin at the Source

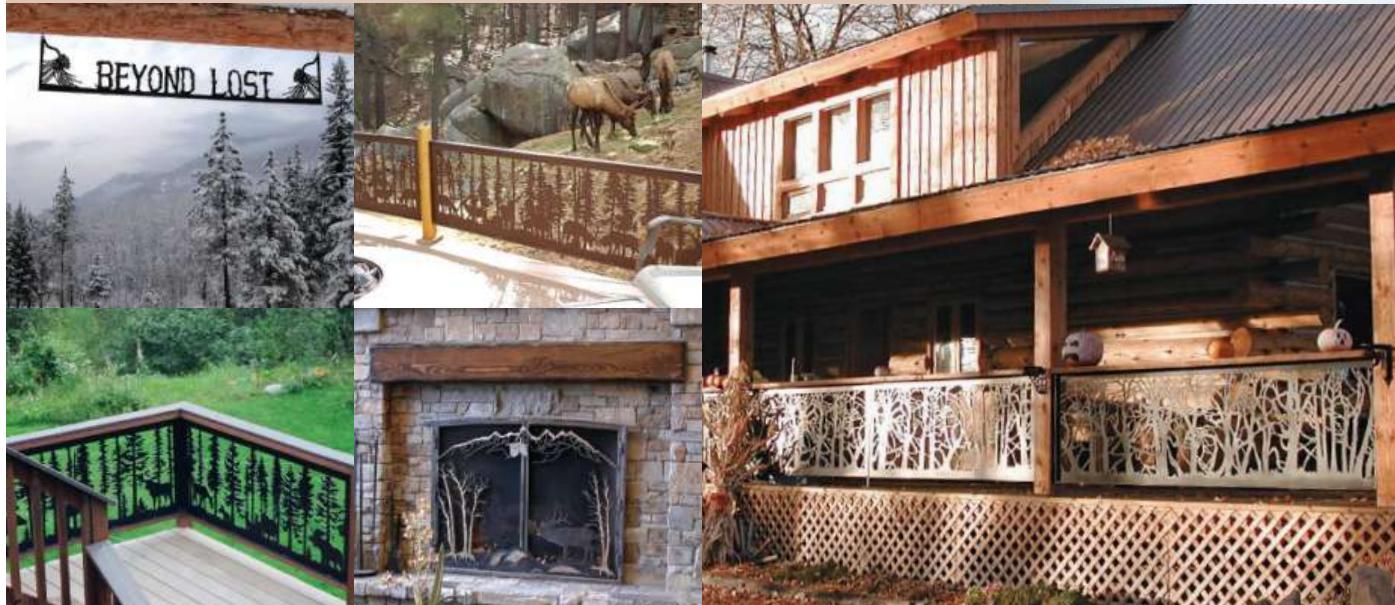
Once you have a design that can keep the forces at bay, make sure your log producer



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takes proper steps to protect the logs from mold and mildew, starting within 24 hours of when they are milled, peeled or hewn. The logs should be delivered in good shape and properly stacked to keep them off the ground and covered to keep off moisture (but loosely enough so they can breathe). They may arrive with some road grime. A little trisodium phosphate in water will

the borate solution below the surface of the wood that is lethal to wood-eating insects by disrupting their digestive process and adds protection against the fungi that cause wood rot.

Besides being applied in several different forms before the logs are erected, borate products are available for protection after the home is built. Spray prod-

Ongoing Protection

Don't assume that protection will last a lifetime. Depending on your home's exposure to the elements, it could need re-treatment anywhere from three to six years. The best way to keep track of your protection is regular inspections. Give the home a good going over at least every spring and fall.

High-quality, breathable wood finishes will keep additional moisture from penetrating the wood while allowing moisture inside the log to evaporate.

clean that off.

One measure you might consider is pre-treating your logs. They can be dipped, sprayed or pressure-treated with a preservative. Usually it's a borate product. Water-based borate wood preservatives are effective against termites, boring beetles, carpenter ants and wood-decay fungi. They are easy to apply, odorless and non-corrosive. The aim is to produce a concentration of

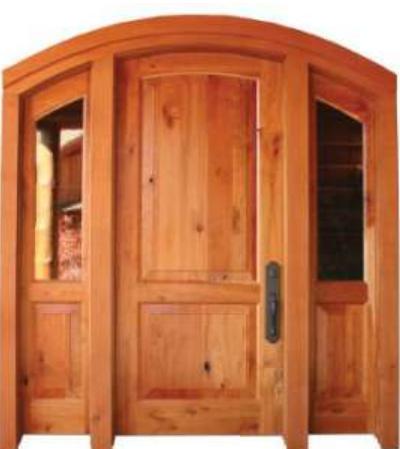
ucts are particularly effective in making sure the protection soaks into wood in hard-to-reach areas.

Whether your logs arrive pretreated or untreated, once the walls are erected, the logs should be protected with a stain or sealer to keep the logs from absorbing water. The more pigment that is in your stain, the greater will be your protection against UV rays, which can weather wood.

A home's first two years are probably the most crucial. This is when the most log movement occurs, while the home settles. Shrinking logs may create moisture traps at horizontal seams, overlapping corners and joints around windows and doors if they are not properly sealed.

Check all the walls, not just one or two or three. The southwest-facing corner of the home is usually the first place

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where protection weakens because it is exposed to more sun, so give it better than a once-over.

Pay particular attention to exposed log ends, especially if your roof doesn't completely overhang them. They bear the brunt of the weather.

Look for cracks, called checks, in log surfaces, particularly upward facing ones. They appear when the outer layer of your log dries faster than its core. Checks are common but should be filled, with either a coating or caulk, to eliminate water from being drawn deeper into the wood, where more serious problems can develop.

Patch gaps in caulk and chinking promptly. Re-caulk and re-chink completely as often as necessary to ensure the sealing materials are performing to their maximum capacity. Any moisture that gets caught behind a hole in caulking or chinking may not evaporate as quickly as it should, making the wood vulnerable.

It's never a good idea to paint logs or use any other closed-film coating, such as varnish, that can trap moisture inside the log. These coatings will crack as the logs expand and contract. Any water that gets into these cracks can start the decay process.

But there are many stains that can change the color of your logs. Some people like to leave the wood natural, others prefer theirs darker or lighter. A clear finish may seem like a good idea; if the sun in your area is particularly harsh, however, more pigment offers better protection.

Fix Problems

When you do notice something amiss on your exterior, you will have to evaluate whether a touch-up is required or it's time to redo the whole house. Try spraying the house with a garden hose. If the water still beads up over most of the log surface, your protection is good. Wherever it doesn't bead up and soaks into the wood instead needs protection fast.

Cleaning the logs and reapplying a preservative or finish is a chore you may be able to handle yourself. Doing so may

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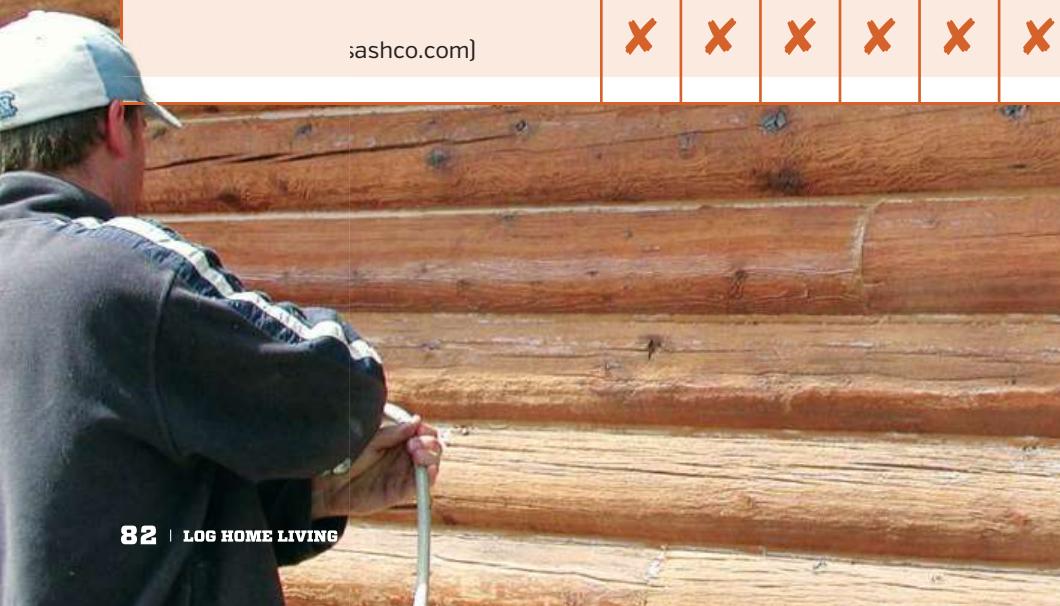
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PRESERVATION SOCIETY

There are many different products used to seal and protect cabins. Modern offerings have grown to include time-tested formulas, new colors and eco-friendly options. The table below lists major manufacturers of stains, sealants and other cabin maintenance products. Your builder or materials provider may also have recommendations based on your location and climate.

Company	Stains	Preservatives	Sealants	Chinking	Caulk	Cleaner
Azko Nobel (Sikkens) (866-745-5367; sikkens.us)	X	X				
Cabot Stains (800-877-8246; cabotstains.com)	X					
Columbia Paint & Coatings (columbiapaint.com)	X					
Continental Products Co. (800-305-5869; continentalprod.com)	X		X		X	
CTA Products (877-536-1446; chemtch.com)	X	X	X			X
Hemp Shield (hempshield.net)	X					
ISK Biocides (WOODguard) (800-238-2523; woodguard.com)	X	X				X
Minwax (800-523-9299; minwax.com)	X					
PermaChink Systems (permachink.com)	X	X	X	X	X	X
Sashco (sashco.com)	X	X	X	X	X	X



PRODUCT TYPES

STAIN: There are three types of stain: oil-based, water-based and emulsions that blend the two. Today's stains – available in a host of colors from gray to green, blond to dark honey – are designed not only to give a tint to your walls, but they also coat the wood with a breathable layer of protection.

PRESERVATIVE: A mix of chemicals designed to protect against a host of environmental threats, such as mold, mildew, ultraviolet rays and insects.

SEALANT: A liquid [caulk] or solid [foam or butyl rubber] material used to prevent air or water from passing through joints.

CHINKING: Chinking is a thick material used to seal the gaps between log courses. Traditional chinking is mortar-based, but modern synthetic chinking is far more elastic, effective and durable. Also, today's chinking is available in a variety of colors, though most cabin owners prefer a white or light color to contrast with darker wooden materials.

CAULK: A sealant used to fill joints and spaces between logs. Often it's clear or a color that matches the tone of the wood. Caulk comes in tubes or pails, and is applied with a gun in a narrow bead. The soft, moist bead dries to a tough elastic sealant that protects against air and water infiltration.

CLEANER: Several products are designed specifically for use on your cabin's exterior and interior walls. A pressure washer with a fan tip is another way to clean your walls. Just start at the top and work your way down.

PermaChink Systems photo

seem more trouble than it's worth, but you at least will be able to assure yourself that the job has been done properly. If you are buying a relatively new existing log home, you will be instituting your own maintenance program in case the previous owner wasn't as careful as you intend to be.

Don't have unrealistic expectations, however. No log will keep its original hue. That's the nature of a natural material. Although you can never restore their original beauty, you can come close, provided you haven't been too neglectful over the years. Vigilance and diligence can keep the weather from interfering with the natural lifespan of your log home. That way, you also won't have to worry about the few but constant threats to your logs. The resulting peace of mind will allow you to enjoy your new home even more, knowing it will stand strong and solid for generations to come. 

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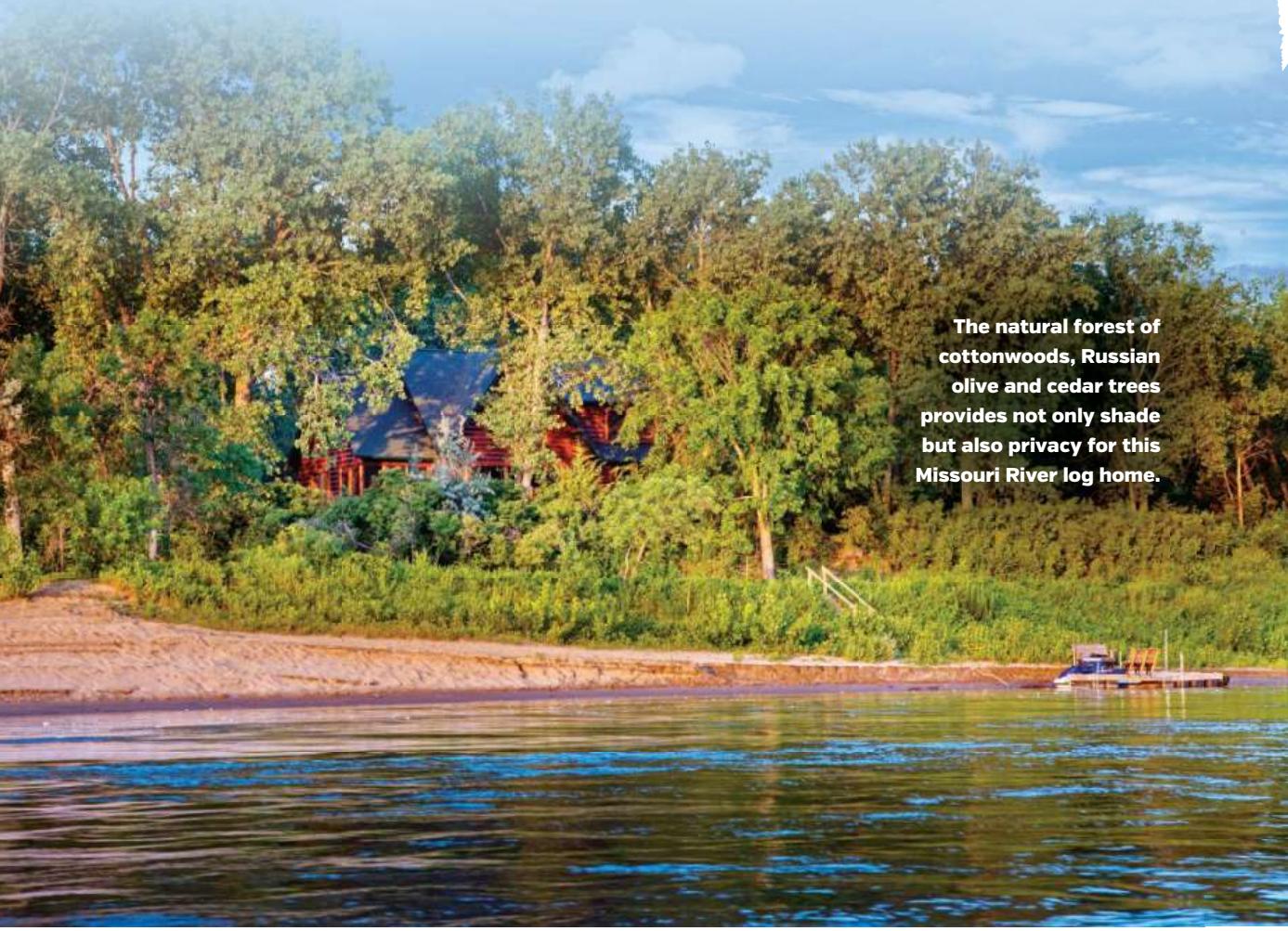
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Riverside Dream

Building a South Dakota home turns into an adventure — with a happy ending.

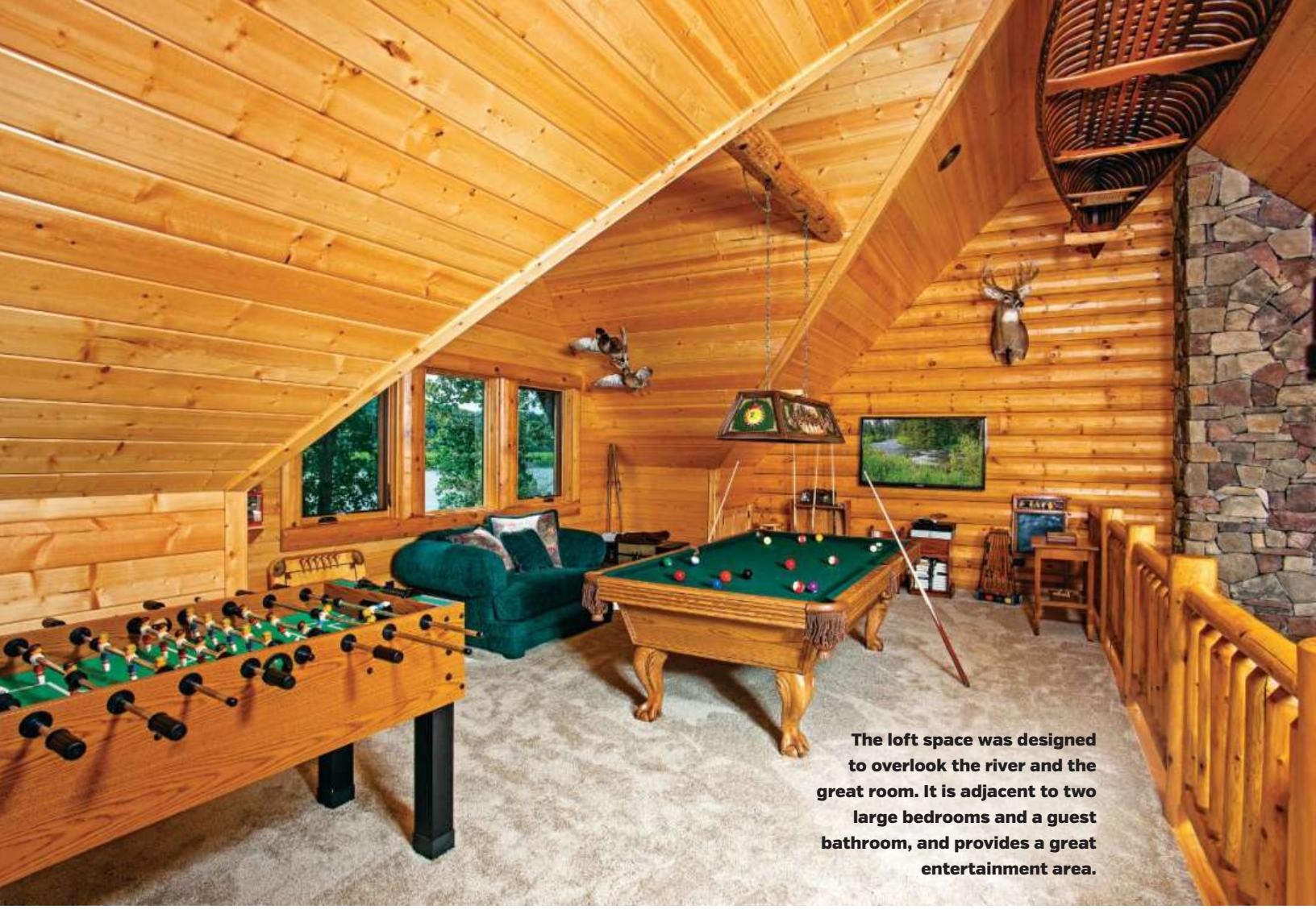
Story and Photos by JOE HILLIARD



The natural forest of cottonwoods, Russian olive and cedar trees provides not only shade but also privacy for this Missouri River log home.



The homeowners nestled their log home into the natural surroundings by not disturbing existing trees and greenery.



The loft space was designed to overlook the river and the great room. It is adjacent to two large bedrooms and a guest bathroom, and provides a great entertainment area.

When Dan and Beth decided to build their log home on the Missouri River, little did they know what this seemingly simple process held in store. They only knew that they had long wanted one.

When Beth was a child, her family visited the grand hunting camps in the Adirondacks and National Park lodges out West. Dan grew up hunting and fishing along the Missouri River in South Dakota on land that had been in his family for seven generations. The two even spent their honeymoon in a Colorado log cabin. The site they purchased to build on was a historic cottonwood forest on

the Missouri, just south of the land that Dan explored as a boy. The couple later discovered that Lewis and Clark camped at a site almost directly across the river from them in August 1804.

The couple didn't want to use an existing plan for their home because they wanted it to be a one-of-a-kind sanctuary that would reflect their ideas and vision. When they would go out to dinner, they often sketched their ideas. They also bought log-home magazines and clipped pictures of features they liked. Eventually, they transferred their design ideas to graph paper and went to log-home shows in Minneapolis to find a company to help deliver their

dream home.

Golden Eagle Log Homes, a Wisconsin manufacturer, offered the flexibility that they wanted. It translated the couple's plan into final drawings, keeping the footprint as rectangular as possible to keep the home's cost well within budget.

Besides intending to build the home themselves, Dan and Beth wanted it to be as green as possible, so they carefully selected sustainable products. They considered aesthetics and design, as well as their home's impact on the environment. To that end, they installed a geo-thermal heating system that consists of four large vertical loops of liquid-filled tubing that run underground to extract

The 24-foot dry-stack fireplace is the focal point of the beautiful great room. The sawed archway leads into the dining room.





ABOVE: The open-concept kitchen provides plenty of space for cooking and entertaining. The chiseled-edge quartz countertop adds a natural touch to the space.

LEFT: Black appliances stand out beautifully against the hickory cabinets and linoleum floor. The Elmira stove is another focal point of the home and a guest favorite.

OPPOSITE: The expansive set of French doors provides a spectacular view of the Missouri River and the nearby hills.



heat from the earth and store it in the thermal mass of the Lite Form insulated concrete form basement. Ten-inch, kiln-dried eastern white pine logs also increased the mass density of the home. The couple designed 3-foot-wide roof overhangs to shade direct sunlight in the summer and collect warmth from the lower-angle winter sun. They also kept as many trees as they could to add shade and keep the home cool in summer. The double-hung windows are coated with a solar film that boosts efficiency.

The roof's dark green heavy asphalt shingles provide not only additional in-

sulation and sound muting, but also a beautiful visual contrast to the honey-colored exterior logs. The exterior stone, laid by Dan and his son, was sourced locally.

Dan and Beth chose 3/4-inch repurposed hickory for the floors, which Dan installed, and hickory cabinets for the kitchen. The linoleum used for flooring in several areas of the home is considered a sustainable resource, as is the cork floor in the dining room. Both materials feel soft underfoot but also soften sounds in the home. In the kitchen, an Elmira Stoveworks vintage stove

is a focal point where family and friends gather when the couple entertains. The bedrooms and loft area have carpeting that was created from recycled materials. Eye-catching black quartz countertops with chiseled edges contrast with the light wood and smooth finish of the hickory cabinets. All of the construction materials except the cork flooring were produced in North America.

Dan and Beth began construction in spring 2010 while snow was still on the ground. Work proceeded smoothly until the summer rains began to fall at an alarming rate. Dan recalls that it

rained hard almost every third day for many weeks. The following year, winter snow melt and the historic rainfall caused reservoirs upstream from the site to fill up to the point where large amounts of water had to be released. The onrush washed out their road and caused floodwaters to rise dangerously close to the house.

Dan had to rush to build a berm to keep the water from reaching the house. Eventually, it rose to such levels that the couple had to park at a neighbor's farmhouse, a mile and a half away, and then use a small motorboat to cross fields and the farmer's fences to reach their home. They continued to work on the inside every day while keeping a close watch on the rising waters. Dan periodically got out with his skid loader to raise the height of the berm to stay above the rising water, ultimately ending up 6 feet tall to keep the water out.

After several months, the water began to recede, and the couple was able to relax and concentrate on finishing the home. They aren't worried about this happening again in their lifetime since hydrologists and other experts said they considered it to be a 500-year flood.

Dan and Beth completed their log home shortly before their 30th wedding anniversary. Many of the items they used to furnish it are antiques and heirlooms from both sides of the family. Dan's toys and fishing-hunting gear from his youth also fill the rooms. Several items were repurposed, such as the large mirror in the master bath, which once hung in Dan's mother's home, and an antique icebox that now holds china. A canoe from the late 1800s hangs high up in the rafters of the great room.

The home stands today along the Missouri River as a testament to the couple's pioneer spirit. Besides building the home themselves, they stood up to nature's adversity to create the sanctuary they call home. **L**



LEFT: The comfortable screened-in porch allows Dan and Beth to enjoy many peaceful evening sunsets.

BELOW; TOP: The charming master bedroom is cozy and features many family heirlooms.

BELOW: Beth enjoys serving gourmet meals to friends and family in the formal dining room.



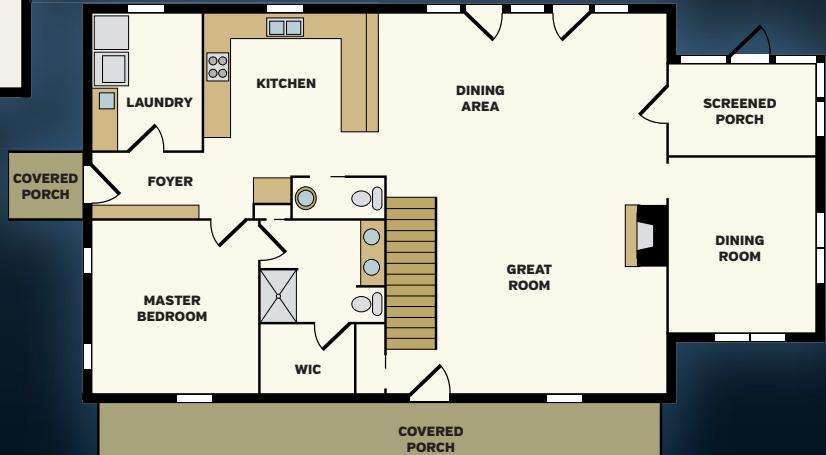


HOME DETAILS

Square Footage: 3,216
(not counting basement)

Bedrooms: 3 **Baths:** 2.5

Log Provider: Golden Eagle Log Homes
(800-270-5025, goldeneagleloghomes.com)



The back of the home faces the Missouri River. The expansive deck provides another area for entertainment. The garage was purposefully placed below the deck for aesthetic reasons.

Wood to the Max



The rear view of the home illustrates the artful combination of building elements in a landscaped setting.



Logs and timber elements combine for
a distinctive Ontario home.

photos courtesy of
1867 CONFEDERATION LOG & TIMBER FRAME



Americans sometimes forget that Canada also has a long log tradition. This Ontario home exemplifies the craft. It features eastern white pine logs, hewn 8-by-12-inches square, finished rough on the outsides and smooth inside, with tight fitting dovetail corners. The dovetailing is an interior highlight as well, providing a focal point in every room. It also incorporates elaborate timber framing inside and out that adds a “wow” factor, particularly at the rear of the home

facing the swimming pool.

The owner’s objective was a primary residence that would be practical for entertaining, as well as for day-to-day family life. The open layout allows ample room for gathering inside and outside on exposed and covered decks. Big windows assure abundant natural light throughout. The most noticeable feature is the dining room turret, which features a custom timber ceiling truss. The light-filled space below is used as a home office.

Though modest in size (1,486 square feet on the main level, 1,486 square feet in the finished basement), it doesn’t scrimp on finishing touches and amenities, achievable because the homeowner built it himself.

The home is an example of a custom design that worked out so well that it’s now a model plan, Green Woods. It can be viewed and downloaded at the website confederationloghomes.com. **L**



OPPOSITE: The dining room celebrates big timbers and the log-building craft.

LEFT: The front view displays the multiple rooflines, timber-frame entry and dining room turret.

ABOVE: Contemporary furnishings brighten the great room, which opens to the kitchen and leads to the dining room beyond.



HOME DETAILS

Square footage: 2,972

Bedrooms: 3 (1 on main level)

Baths: 2.5

Log Provider & Designer:
1867 Confederation
Log & Timber Frame

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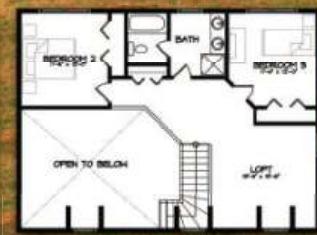
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1867 Confederation Log & Timber Frame Bobcaygeon Model

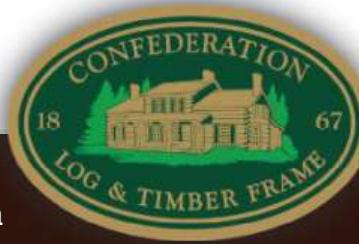


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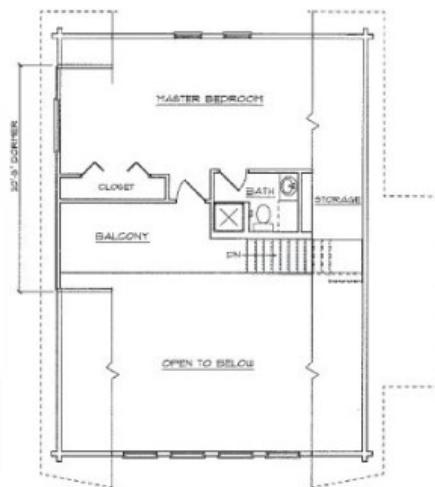
Bedrooms: 3

Baths: 2

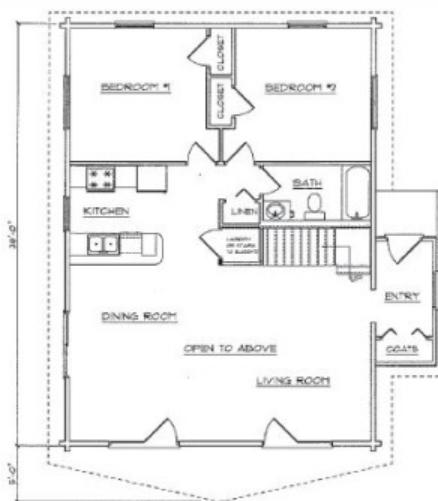
Square Footage: 1,687

Package Price: Call for prices

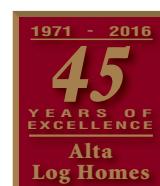
Upper Level



Main Level



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Divine Mountain

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Bedrooms: 3

Baths: 3.5

Square Footage: 2,325 + 1,344 walkout option

Appalachian Log Homes

11320 Stations West Drive, Suite 102

Knoxville, TN 37934

800-726-0708

fax: 865-675-2662

e-mail: info@alhloghomes.com

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APPALACHIAN LOG HOMES - DIVIDE MT - FRONT ELEVATION



DIVIDE MT. SIDE ELEVATION
APPALACHIAN LOG HOMES



First Floor



Second Floor



Cimarron Mountain Retreat

This classic Appalachian style home with an open, modern floor plan offers a first floor master suite with ample storage, loft area and two upstairs bedrooms complete the design. Spacious outdoor living area, with fireplace and two covered porches bring the great outdoors to every occasion.

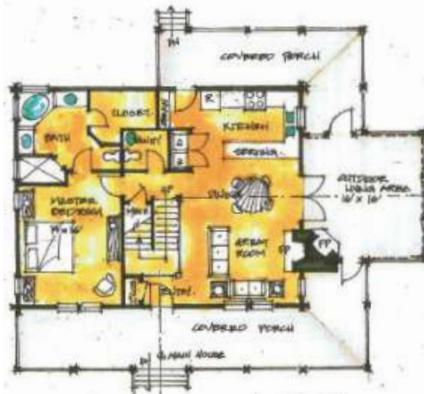
Bedrooms: 3

Baths: 2.5

Square Footage: 2,082



ALEXANDER WALKER



First Floor



Second Floor

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Cheyenne



Complete Package Price
based on Oct. 1, 2014 price list:

\$114,950
RETAIL

6x8 Log



Complete package includes: **Andersen** WINDOWS & DOORS

Kiln-dried and precut log walls, sub-floor, Andersen® 400 Series TW windows, Therma-Tru® doors, loft system, complete roof system, interior framing with T&G pine to finish, solid wood interior doors, locksets, and much more! See complete details at: www.coventryloghomes.com



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Swiftwater

Complete Package Price
based on Oct. 1, 2014 price list:

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RETAIL

6x8 Log



photos may vary from actual design



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Company

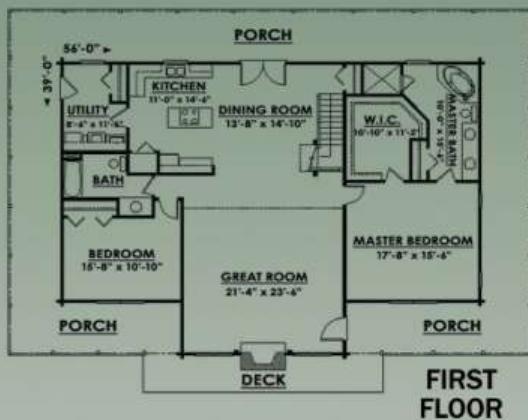


Why eLogHomes?

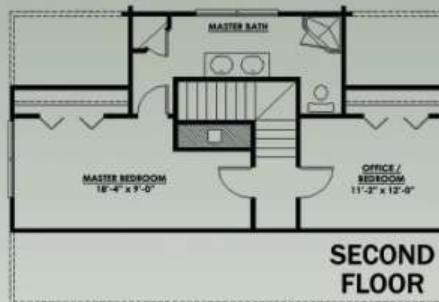
- 5. We Design, Supply and Build
- 6. Unparalleled Customer Service

- 7. Lifetime Limited Warranty
- 8. Handcrafted Log Accents

THE SWEETWATER 2980 sq. ft.



THE CAROLINA 1280 sq. ft.



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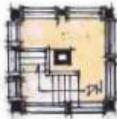
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Plumadore

Bedrooms: 4 Baths: 2 Square Footage: 2,520



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The Delmar

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First Floor**

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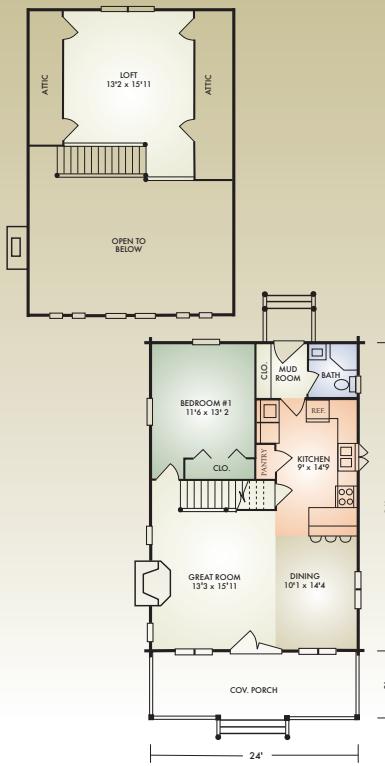


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1 BR/ 1 BA



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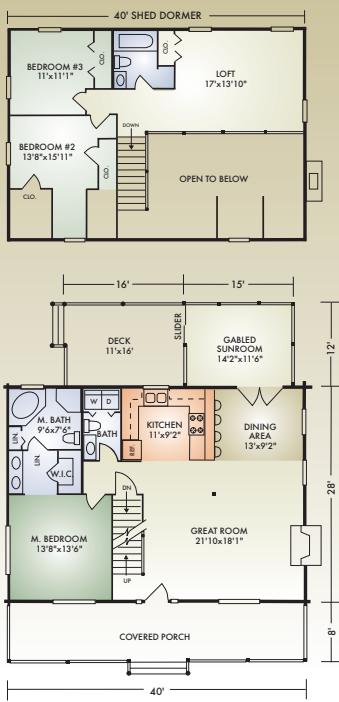


The Black Fork is the perfect answer for those wishing to build an affordable vacation home or downsize from their existing one. It features the inviting open-concept great room with timbered cathedral ceiling and fireplace; first-floor laundry and mud room; and spacious open loft. Plus, the covered front porch and extensive windows offer a great view inside or out! Visit this model open daily Monday through Saturday. For more information or to order our Portfolio of floor plans and Planning Guide for \$10, call 800-368-1015. HochstetlerLogHomes.com

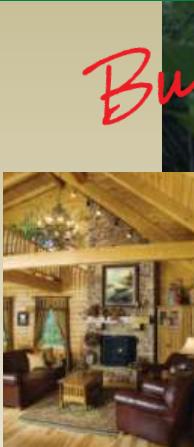
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McKay

2007 sq.ft.
3 BR/ 2 1/2 BA

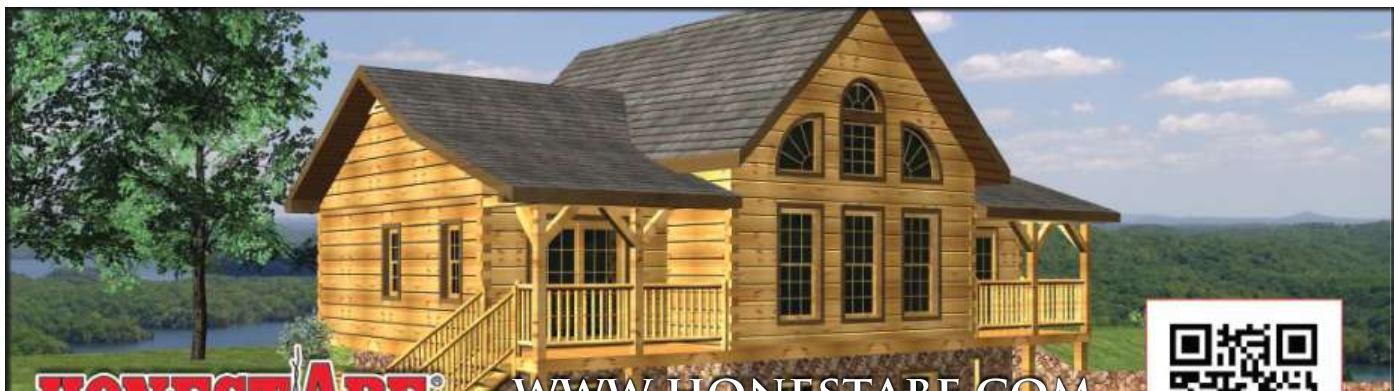


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The McKay offers those features that make log homes so warm and inviting. The open-concept great room with large timbered roof system and large stone fireplace; kitchen with step-saving adjoining laundry and 1/2 bath; master bedroom with bath large enough for that hot tub; and the conveniently-located dining room leading out to the gabled sunroom and rear deck. Visit this model open daily Monday through Saturday. For more information or to order our Portfolio of floor plans and Planning Guide for \$10, call 800-368-1015. HochstetlerLogHomes.com

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LOG HOMES

CASTLEROCK

Bedrooms: 1
Baths: 1 1/2
Square Footage: 1,456
Package Price: Call for Pricing

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1st Floor



2nd Floor




HONEST ABE[®] INC.

LOG HOMES

SPIRITWOOD

Bedrooms: 3
Baths: 2 1/2
Square Footage: 2,984
Package Price: Call for Pricing

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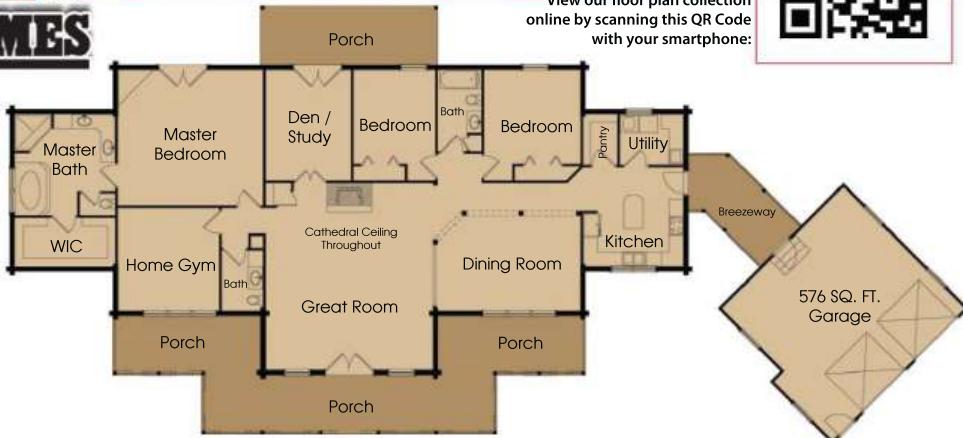
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Cathedral Ceiling Throughout

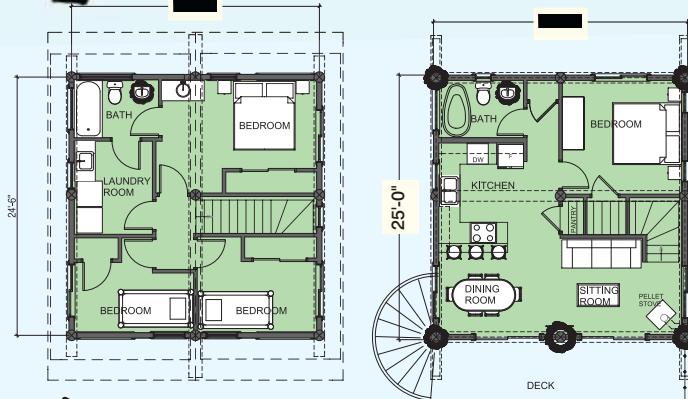
1st Floor



Own "Your" Cabin Today!



The Tree House

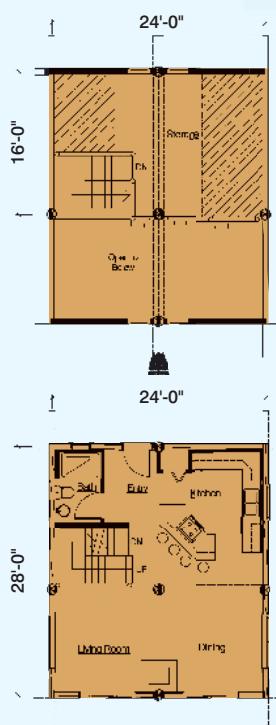


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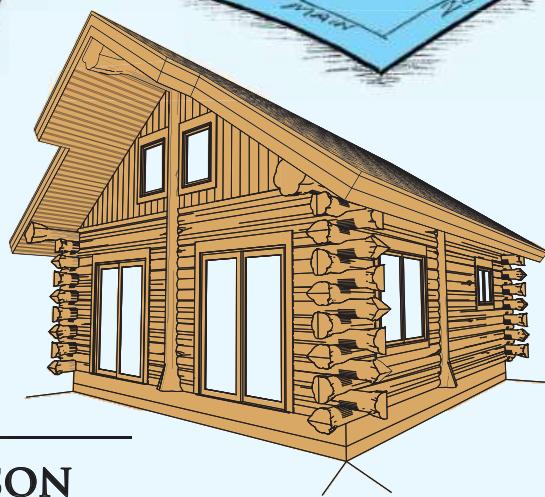


The Bear Claw Cabin

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- ✓ Northern White Cedar

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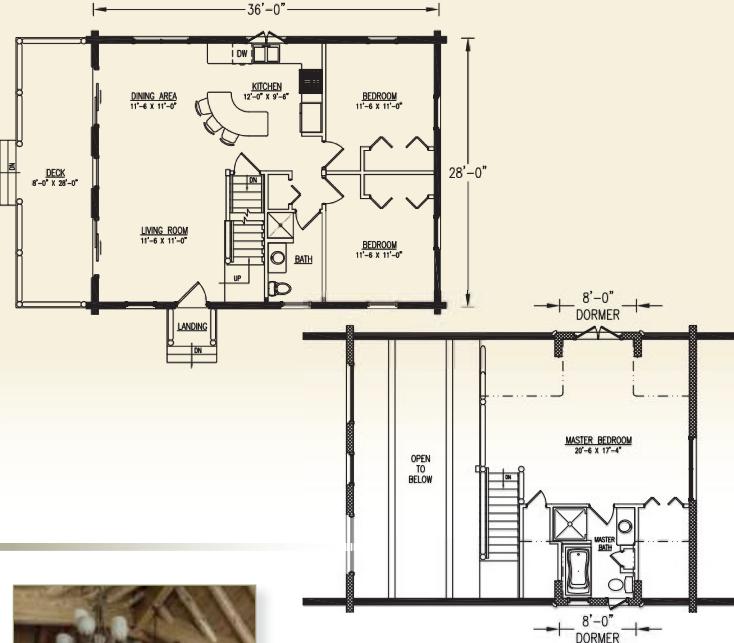
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Lafayette I

Cape Style, 1,484 square feet, 3 Bedrooms/2 Baths



Hunts Mountain Lodge

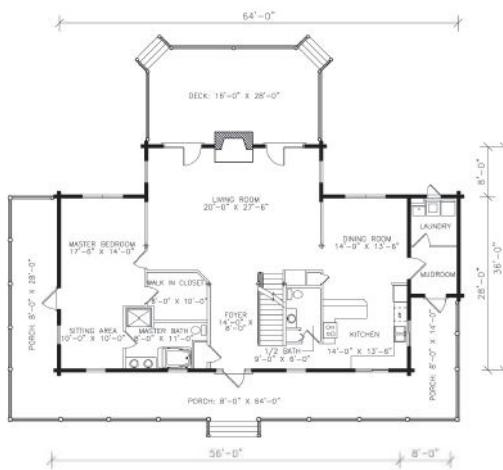
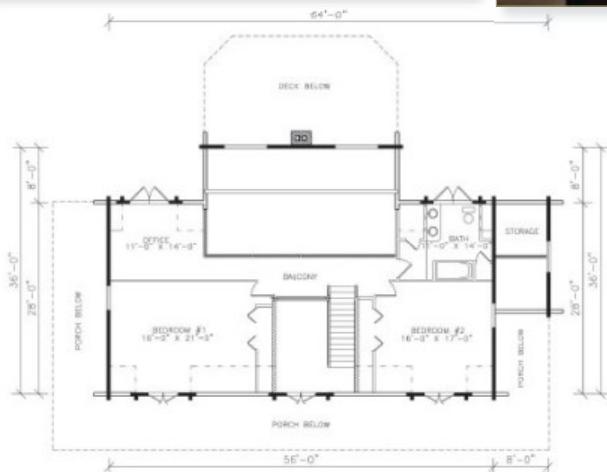
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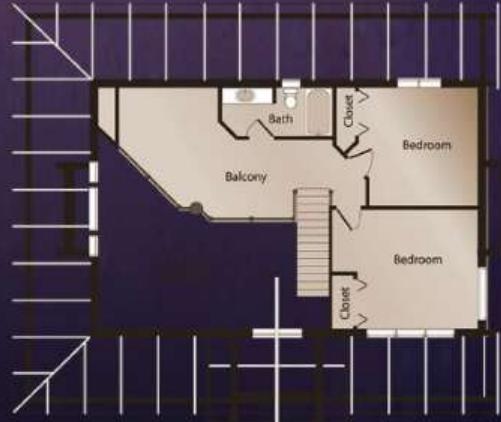
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2,166 Sq.Ft. as drawn



Floor Plan Diagram Labels:

- KITCHEN 16' X 14'
- ENTRY 7'-4" X 14'-0"
- DINING RM. 10' X 14'
- LIVING RM. 21' X 23'
- Covered Porch
- BEDROOM 10'-0" X 14'-0"
- BEDROOM 14'-0" X 11'-8"
- LAUND.
- MASTER BEDROOM 8'-7" X 13'-0"
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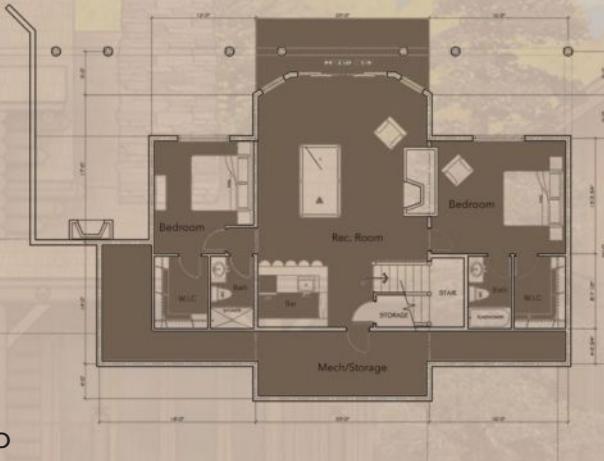
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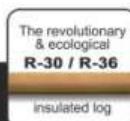
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Tahoe Total: 3381 sq. ft.
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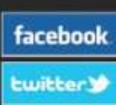
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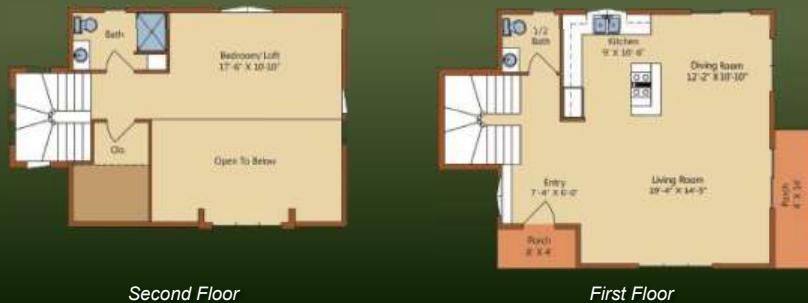
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1 Bedroom, 1.5 Baths, Total Sq. Ft.: 1,140



CHEYENNE

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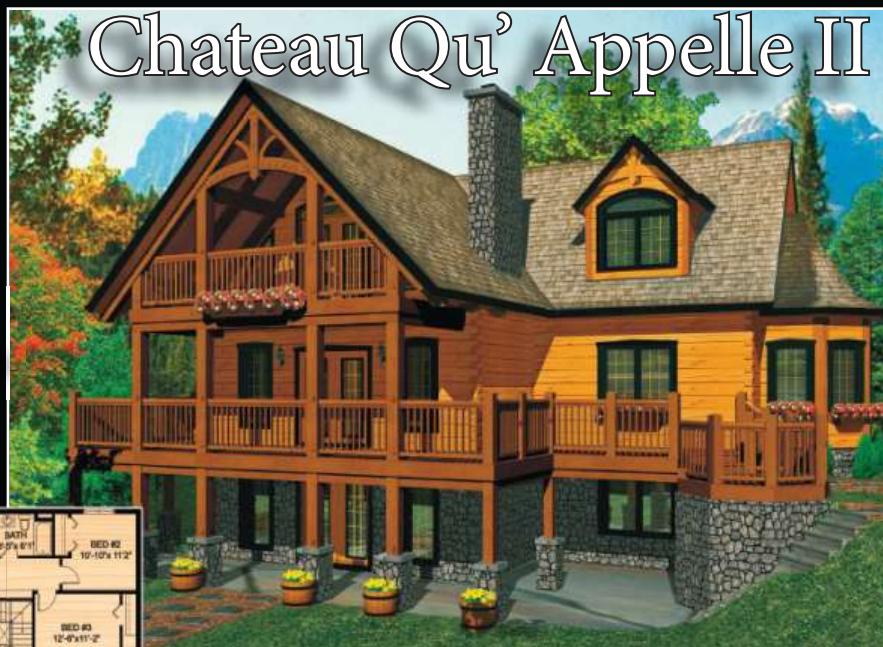
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Additional Features



Sq. Ft. 2,208 Plan # 14911 Bedrooms Three Baths Three

Chateau Qu'Appelle:

Chateau Qu'Appelle II consists of upper decorative timber frame porch, upgraded second floor deck, hand rails & porch posts. Sliding door & curved transom window, catwalk & decorative dormer timber truss with curved transom window.

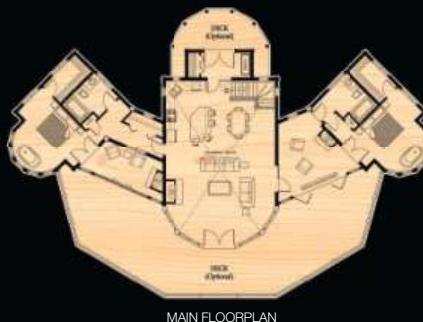


The Blackstone

Introducing Blackstone:

This open concept floor plan features cathedral ceilings and a deluxe master suite with its own private sun room & fireplace. The uniquely angled bedroom wings & great room prow have been designed to take in all of your spectacular waterfront views. The options & upgrades for this plan are truly endless.

Sq. Ft. 2389 Plan # 15140 Bedrooms Three Ensuite Two



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\$299,900
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THE INDY



CALL FOR PRICES!

2,436 SQUARE FEET | 3 BEDROOMS | 3.5 BATHS

The Indy features an open-concept great room that features exposed purlins and a beautiful fireplace. The convenient first floor master suite offers a full bath and spacious walk-in closet. Upstairs a catwalk connects the 2 bedrooms that each have their own bath.



Upper Level

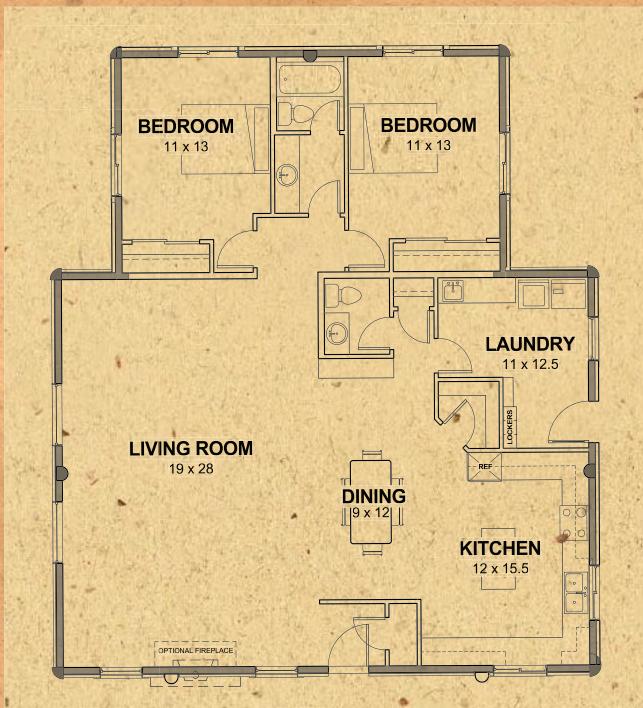


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Greenbrier II Modified

Two bedrooms and a full bath upstairs lead to a balcony overlooking the spacious great room below. Downstairs, holidays and gatherings in the warm and welcoming great room will spill out onto a 28-foot deck. Smart traffic flow pattern of the kitchen into the dining area, utility and garage keeps things moving in this compact yet grand log home.



Bedrooms: 3

Baths: 2 1/2

Square Footage: 1,752

Package Price: Call for prices

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Mountain View

The Mountain View offers a spectacular view of the great outdoors from nearly every room in the house. The main floor is open and spacious with doors opening out to the open deck and gazebo. The master bedroom suite is on this floor with a door opening to a large covered porch for a great view of the property. Upstairs has a loft, two bedrooms and bath. Walk-out basement is optional.

Bedrooms: 3

Baths: 2

Square Footage: 1,800



First Floor



Second Floor

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Palisade

3 Bedrooms • 2 1/2 Baths



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Main Level
1,981 sq. ft



Upper Level
1,272 sq. ft



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The Seven Gables

The Seven Gables floor plan is 3062 sq. feet of living space and is one of the most popular floor plans Gastineau offers. The great room windows provide breathtaking views and bring plenty of natural light into the home. The main level has an open concept which allow for everyone to interact when entertaining or making dinner. No need to climb stairs as the first level has everything needed to live. The master bedroom, master bath, walk in closet, utility room, $\frac{1}{2}$ bath and garage are all on the first level. The second story floor is built with exposed 6x11 and 6x8 oak beams and the roof is completely vaulted. The second level has 2 bedrooms, 1 bath and a loft. The loft gives you your views out of the gable end windows. This model is also available in a smaller 2500 sq. foot version called the Seven Gables 2. The Seven Gables model is able to be toured at your convenience. To schedule a tour of this home, give us a call.

Bedrooms: 3

Baths: 2.5

Square Footage: 3,062



First Floor

Second Floor



The Retreat

This Bucks County hand-crafted Timberlake log home has large hewn wall logs up to 23" tall and features a SIPS and stone office wing, with a timber frame roof system. Mortise and tenon exposed joinery is featured throughout the home, including the special 2 1/4" thick Heart Pine entry door.



Bedrooms: 3

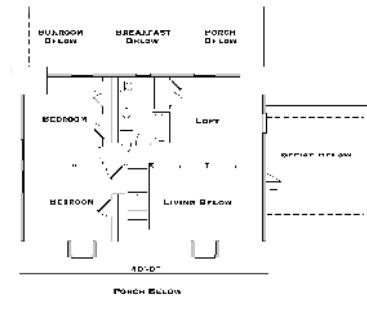
Baths: 2

Square Footage: 2,423

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First Floor



Second Floor



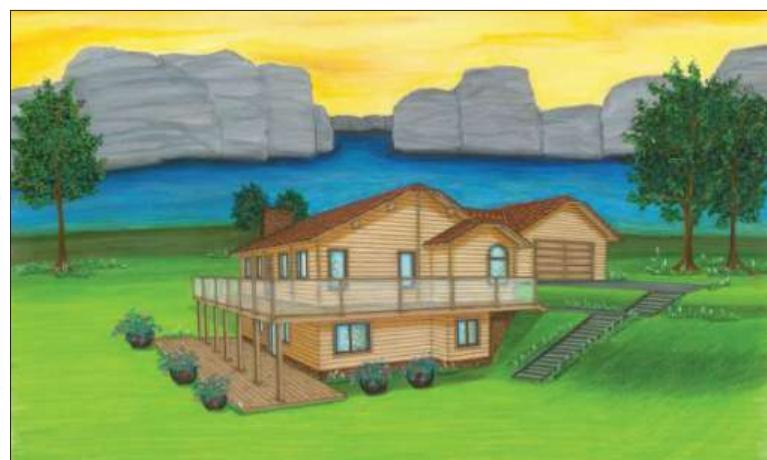
ESTES RANCH

Open and spacious rooms with a lot of natural light. The Estes Ranch design provides comfortable "great room" living, with an orientation toward that special view.

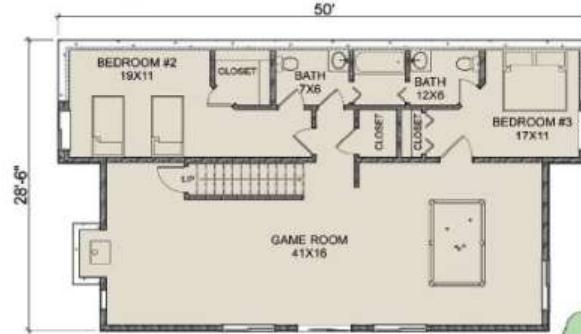
Bedrooms: 3

Baths: 3 1/2

Square Footage: 2,586



Main Floor



Lower Floor

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Second Floor



First Floor



With a spacious, open floor plan, this house beckons you to bring the outside in with decks and porches wrapping around at almost every point. It won't matter if you're entertaining or spending quiet time alone communing with nature, this home will be your peaceful haven from the hectic rush of the rest of the world.



1.800.962.4734
Jimbarnalog.com
Jimbarnatimberframe.com



The Silverado

This 3 bedroom, 2 bath, award-winning cabin combines a unique twist of traditional and modern styles. Its design maximizes the use of space and allows for a private getaway in the master suite. A shed dormer covers the rear of the home allowing for plenty of headroom and additional natural light. Two gable dormers grace the front, not only adding floor space to the home but, giving the home the traditional cabin feel. The spacious wraparound porch gives plenty of outdoor living areas to enjoy. The "Silverado" received the "Cabin of the Year" award from Field & Stream Magazine. Available in Cedar, Cypress or Pine and a variety of log profiles this home will truly serve your family and friends every need.

Bedrooms: 3

Baths: 2

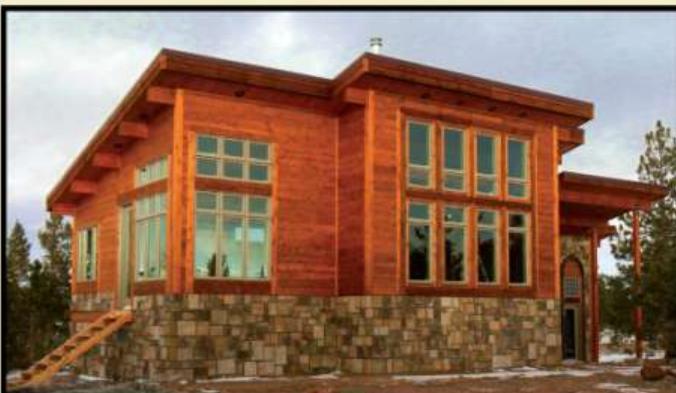
Square Footage: 2,184

Package Price: Call for prices

The Original Log Cabin Homes
P.O. Box 1457 • Rocky Mount NC 27802
800-562-2246 • fax: 252-454-1550
e-mail: info@logcabinhomes.com
www.logcabinhomes.com



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800-782-2633
info@panabodehomes.com

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Home Packages shipped Worldwide.**



Horizon View #1711

- 1711 sq.ft. Total ~ 56' x 33'
- 3 Bedrooms
- 2 Bath
- One of several STD. Models available featuring Roof and Window variations.



CANADAS LOG PEOPLE



Over 1,400 handcrafted log and timber buildings shipped worldwide!

Premium logs 12"-20" mean diameter

Engleman Spruce, Douglas Fir, Lodgepole Pine, Western Red Cedar

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Looking for Qualified Dealers

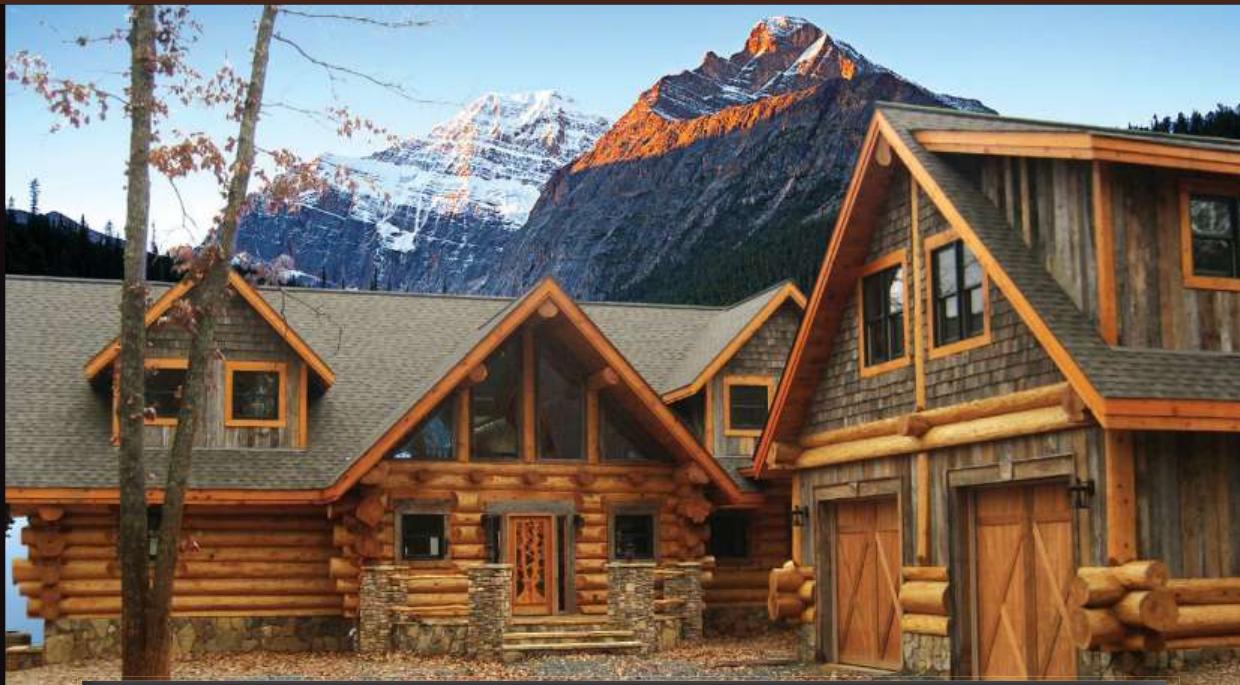


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hand-peeled,
hand-cut, hand fit.*

***This is
Handcrafted!***

**LOG HOMES
CANADA**

8446 Grandview Drive
Chilliwack, BC V2R-4A2

Toll Free:
1.866.320.5647

Yrd Office:
604.847.9700

Email:
loghomescanada@shaw.ca

www.loghomescanada.com



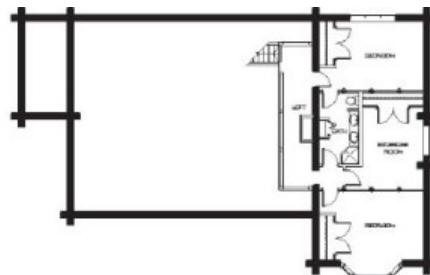
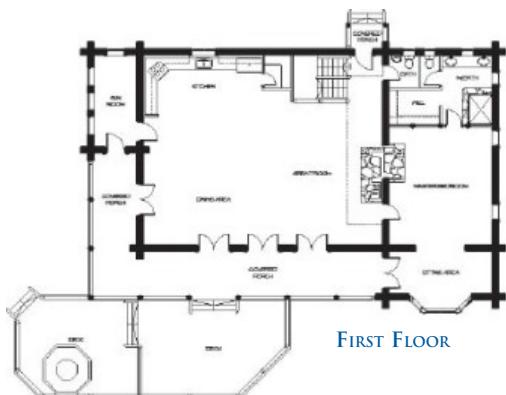
MLH-058

Total Area: 3,131 SQFT

Package Price: Call For Prices

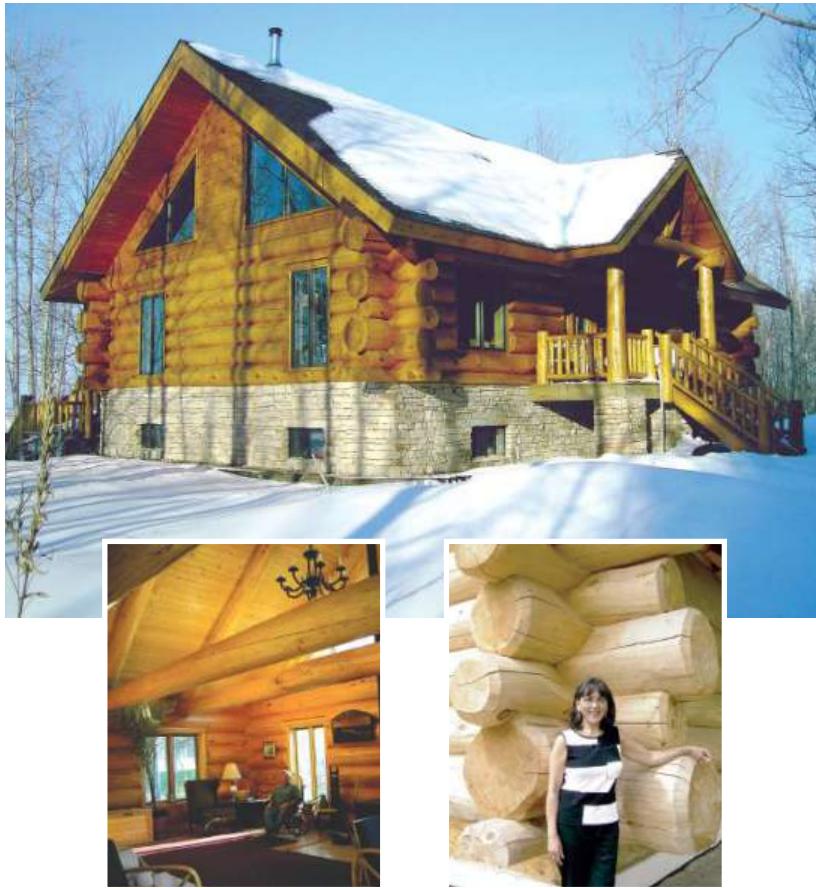
Montana Log Homes specializes in handcrafting unique, quality, log homes, lodges, and commercial projects. Full-length, dead-standing, lodgepole pine or Englemann spruce is hand-peeled for that original log home look, and hand-tooled for precision joinery. Log sizes of 12 inches, 14 inches, and 16 inches are standard, with larger log sizes available on request. Your choice of Scandinavian full-scribe or chink style construction. Log package quotes will include delivery and reassembly by our experienced crew. Contact us for a copy of our plan book, DVD or video or visit our website at

WWW.MONTANALOGHOMES.COM/LHL



DELIVERING NATIONWIDE SINCE 1976

3250 Highway 93 S., Kalispell MT 59901
 Phone: 406-752-2992 • Fax: 406-257-7014
info@montanaloghomes.com • WWW.MONTANALOGHOMES.COM/LHL



Grunberg Home

The Grunberg Home, 32-by-44-feet with 18-to-24-inch diameter logs, has a great room with an attached dining room, a spacious kitchen, two bedrooms and a bath on the main level. Other features include a loft master bedroom and bath and beautiful log staircases inside and out. An information and planning packet containing this and other models is available for \$5.

KOSKI LOG HOMES

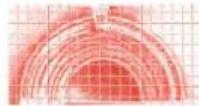
Koski Log Homes

35993 U.S. Highway 45
Ontonagon MI 49953
906-884-4937
e-mail: jerrykoski@charter.net
www.koskiloghomes.com



Holmes • King • Kallquist & Associates, Architects LLP

Whether it's a country estate, or a lakeside cottage, we provide innovative design and quality detailing combined with a unique synthesis of our clients' needs, their site and our knowledge of current design and construction. We recognize that quality projects cannot occur without quality clients and welcome a high level of client participation.



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INDUSTRY DIRECTORY

Log Home Company Directory

There are 49 log home companies (both manufacturers and handcrafters) listed in this directory. These companies are advertisers in this publication. You can find additional log home companies and handcrafters in the State-by-State Directory section of this magazine's Marketplace, beginning on page 150.

Each advertiser has a one-third page listing. The companies are given the opportunity to write their own listings. We feel this allows readers to make comparative judgments based on the producers' own words; we do reserve the right to edit listings and challenge statements.

As a publisher, it isn't possible to guarantee that all log home producers listed are "good" companies that will always satisfy all their customers. We do, however, reserve the right to refuse to list companies with histories of consumer complaints. We regularly write to Better Business Bureaus and state attorneys general offices requesting the names of companies with

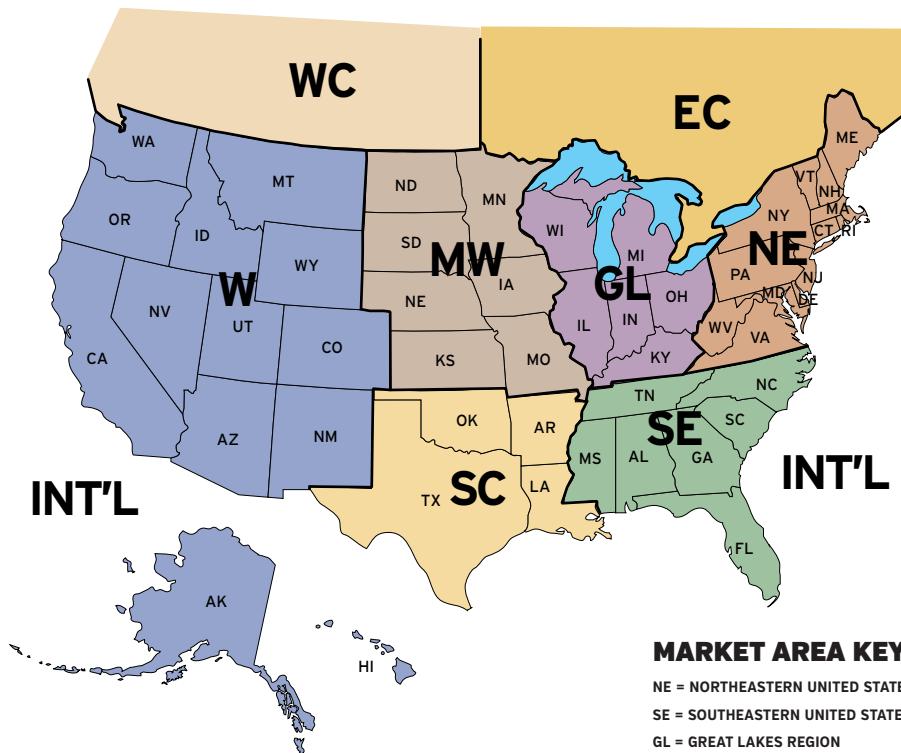
complaint records. We encourage you to write us about unsatisfactory experiences you've had with log home producers.

Buying Advice

We do not rate or recommend individual companies. We believe the information provided in this publication should adequately prepare buyers to select companies and products that best suit their needs.

Key to the Directory

Each listing contains the following information about the company: its name, address, telephone and fax numbers, e-mail and web addresses, the names of sales representatives, the company's marketing areas (see map below), a description of the company's product literature and a brief description of the company's products and services. Each listing also contains an illustration or photograph of the producer's corner detail or finished home.

**DECODING THE LOG HOME UNIVERSE**

Whenever you see a QR Code use your smartphone (or tablet device) to scan it for more information on that topic. Some codes launch websites while others launch videos. Either way, we hope these little codes enhance your reading experience in a big way.

**1867 CONFEDERATION LOG & TIMBER FRAME**

P.O. Box 9

Bobcaygeon, ON K0M 1AO Canada

877-GO-2-LOGS (462-5647)

705-738-5131; fax: 705-738-5283

e-mail: info@confederationloghomes.com

www.confederationloghomes.com

Rick Kinsman, Owner

Market Areas

INT'L

**Company Information**

1867 Confederation Log & Timber Frame is Canada's leading log home manufacturer, shipping homes around the world for more than 30 years. Internationally known for our high standards of quality, 1867 Confederation Log & Timber Frame is the manufacturer of the first log home in Canada to achieve the ENERGY STAR® certification. An 1867 Confederation Log Home is the product of choice for those seeking traditional craftsmanship combined with innovative technology.

Each of our homes is individually designed, hand cut and erected in our indoor facility and checked prior to shipping to eliminate errors and facilitate efficient onsite construction. Closed-in shell packages are marketed as 1867 Confederation Log & Timber Frame's standard package, which includes all material to build subfloors, log walls, roofs, soffit, fascia, gable ends and interior partitions. Also included are windows and exterior doors with locks, custom blueprints and delivery.

Air tightness is achieved by our innovative triple-seal tongue-and-groove and continuous seal in the dovetail or laplock corners. Air tightness is ensured by tightening the easily accessible thru bolts, which are located at 6-foot intervals or closer in all log walls. Electrical requirements are taken care of by predrilling, as shown on plans, which results in efficient onsite installation. Two-inch hardwood dowels are inserted in predrilled holes at the sides of all openings. Windows and doors are attached to sub-jambs, which are securely fastened to the hardwood dowel. This allows for a solid attachment while not interfering with log settling.

Three sizes of northern Canadian white pine to choose from (6-by-8 inch, 6-by-12 inch, 8-by-12 inch) are air dried for up to two years, reducing checking and log movement. Western red cedar is also available.

1867 Confederation Log & Timber Frame timber frame construction utilizes a modern connection system certified for tension and shear. It is completely invisible; drilled openings are covered by wood plugs, which can be removed for later adjustment if necessary. The timeless heritage look of post- and-beam construction is maintained with Timberlink joinery that is 5 times as strong as a normal mortise-and-tenon joint. 1867 Confederation Log & Timber Frame offers king, collar tie, hammer beam and scissor truss custom timber design with optional beveled edges and pendant carvings, providing a magnificent timber frame building at an exceptional price.

Our logs are sustainable forested, interior log finish is low VOC, window and HRV systems are ENERGY STAR® compliant and floor plans optimize passive solar features.

Fully qualified designers; certified sustainable building design and construction designer draw blueprints in-house on staff, custom designs available at no extra charge.

Catalog and video are available. Call for information on available dealerships or your nearest dealer.



ALTA LOG HOMES

46966 State Highway 30
Halcottsville, NY 12438
845-586-3336
fax: 845-586-ALTA (2582)
e-mail: alta.info@altaloghomes.com
www.altaloghomes.com

**Frank Mann, President,
David S. Mann, Vice President**

Market Areas

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**Product Literature**

Product Info: World Class Living Plan Book.....	\$6
Designer Series Brochure.....	\$6
Plan Book and Designer Series Brochure	\$10

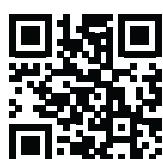
Company Information

Celebrating our 44th anniversary in 2015, Alta leads the industry.

- Experienced in customizing log homes since 1971
- 1st log home in the U.S. to be LEED certified by the USGBC
- Designer/manufacturer based in Halcottsville, NY producing log homes and commercial structures
- Charter member of the Log Homes Council
- One of the 1st U.S. log home manufacturers to meet ENERGY STAR® performance levels for solid log homes
- Designs that equal or exceed all standard structural codes
- Choose from 8 profiles; Classic, Classic Flat V-groove, Frontier Double D, Frontier D log, Frontier Flat V-groove, or 3 different sizes of Round Logs.

Alta's custom machined, log-locking grooves and precut logs eliminate jobsite fitting for minimum man hour construction keeping costs down. Packages include 10 year owner transferable factory warranty covering design and manufacturing.

Call or visit an Alta Log Home model near you to see why Alta is the "Best Value" log home for your money!

**APPALACHIAN LOG HOMES INC.**

11320 Station West Drive, Suite 102
Knoxville, TN 37934
800-726-0708
865-966-6440; fax: 865-675-2662
e-mail: info@alhloghomes.com
www.alhloghomes.com

Contact Any Sales Associate

Market Areas

NE SE GL MW SC W EC WC INT'L

**Product Literature**

Catalog.....	\$10
CD	\$10
Both.....	\$18

Company Information

Appalachian Log Homes Inc. specializes in the manufacturing and building of custom log homes, hybrid homes, and timber frame homes. Because of our long history, our company's authorized log home erection crews are among the best in the industry. Whether you are interested in a custom luxury log dream home or a rustic design, which includes barn beams, character logs, or other rustic elements for contemporary living, the design possibilities offered by Appalachian Log Homes are limitless.

Each Appalachian Log Home is built to be energy efficient and backed with a 10-year warranty against structural defects. Our quality begins with our timbers, milled from heartwood of mature Hemlock, Spruce and Fir trees. These timbers are inspected and stress graded for structural integrity by Timber Products Inspection Inc. Our logs are squared and hand-hewn to give the appearance of our traditional Appalachian dovetail style. Appalachian Log Homes are designed to allow for log movement and/or settling.

We also offer the Paneloc® system which is designed for fast and effective onsite installation of dormers, additions and gable-end walls. This system is super energy efficient and is an excellent alternative to typical stud walls with fiberglass insulation. Our log siding has full-width dovetail corners. The 6-by-12-inch style extended dovetail corner is available with 1-by-12-inch or 2-by-12-inch siding. Our standard finishes are hand-hewn, machine-hewn, and planed-smooth.

We are also proud to introduce our new Rustic log system. Capitalizing on the popularity of our famous Traditional log style, we are offering new 2-inch and 4-inch chink widths. By using a special handcrafting tool we've added a hand-scribed bevel to each long side of the logs. The result is a truly authentic, early American look.

Appalachian Log Homes are marketed factory direct or through a network of independent representatives. Whether you select from existing plans or let our team of experts help you create a totally custom home, we will work with you step-by-step to build the log home of your dreams. Call us today to start turning your log home dreams into reality. Dealer inquiries are welcome. We are members of the National Log Homes Council and the National Association of Home Builders.

**APPALACHIAN LOG STRUCTURES INC.**

P.O. Box 614
Ripley, WV 25271
866-LOG-HOME
304-372-6410; fax: 304-372-3154
e-mail: info@mail.applog.com
www.applog.com

Mark Feder

Market Areas

NE SE GL MW SC W EC WC INT'L

**Company Information****Visit our Log Home Models**

For over 35 years Appalachian Log Structures has been manufacturing precut or linear foot milled log home building materials. Our sales office model in Ripley, West Virginia showcases three log buildings that house the administrative, design and sales teams. The model home features one of most popular floor plan designs, The Fair Oaks, built in the popular authentic Appalachian style log. With a little over 2,000 square feet of living area, this 1½ story design features an open living space with an abundance of glass. Porches and decks surround the structure that includes 3 bedrooms, living, dining, and kitchen areas.

Log & Timber Home Products for a Lifetime

Appalachian offers five log profiles, with the D-log traditional butt and pass and Authentic Appalachian style dovetail corner joinery the most requested. Three additional log profiles and two corner styles in 6-inch or 8-inch thickness are available from Appalachian Log Structures. Log styles offered are milled with a tongue-and-groove and are stacked to provide a solid wood wall. The precast engineered building system also includes a precast timber frame loft floor, rafter roof, and porch system with through-bolts, hardware, caulk and gasketing. All log wall and beam components are grade stamped for quality assurance and are covered by a 25-year warranty for years of unmatched worry free protection.

We are here to Guide You

The sales and design staff have many years of experience and look forward to guiding future log home owners through the design and building process. Appalachian offers over 60 floor plans designed and ready to manufacture for your home site. Our design staff also provides assistance to modify or custom design the log home of your dreams. Visit our website at www.applog.com for a listing of the Construction/Plant Tour seminars held at the manufacturing facility in Princeton, WV. This one day event is an educational seminar developed to guide consumers through the log home buying and building process.

Call 1-866-LOG-HOME today to schedule a visit, attend a seminar or discuss your log home plans.



BIG FOOT LOG & TIMBER HOMES

3380 Ford Road
Tappen, BC V0E 2X2 Canada
877-393-LOGS (5647)
e-mail: info@bigfootlogandtimberhomes.com
www.bigfootlogandtimberhomes.com
Wayne Brown, Senior VP sales/operations
Ron Nicolson, VP sales/dealer management

Market Areas

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CORNER DETAIL



Company Information

Big Foot is the only company in North America within our industry which has ISO certification and is a manufacturing and sales company of high quality log and timber homes backed with a record of more than 5,000 house sales since being established in 1995.

What is ISO?

ISO is short for International Standards Organization, which certifies companies with a documented management system that conforms to the international standards set by this organization.

Big Foot Log & Timber Homes has acquired two certificates:

9001: Quality Management

ISO-9001 certifies that Big Foot Log & Timber Homes has a rigorous system model of design, development, production, installation and servicing.

14001: Environment Management

ISO-14001 certifies that Big Foot Log & Timber Homes has rigorous models of reducing energy and waste in operation. By using precious resources efficiently, Big Foot Log & Timber Homes contributes to keeping our earth green.



BK CYPRESS LOG HOMES INC.

PO Box 191
Bronson, FL 32621
800-553-1564
fax: 352-486-8075
e-mail: info@bkcypress.com
www.bkcypress.com

Market Areas

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Product Literature

Planner's Guide \$10

Company Information

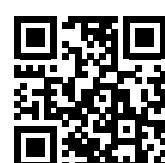
BK Cypress Log Homes, Inc. is the oldest and most respected **Tidewater Red Cypress** log home manufacturer in America. We firmly believe we mill the best log home on the market. Since the 1930s our family has been milling from nature's finest wood: **Tidewater Red Cypress**, commonly called the "Wood Eternal." We also understand the investment our customers are making in choosing to build a log home and we are passionate about assisting every step of the way. With both a great product and great customer service, it's easy to see why BK Cypress has withstood the test of time.

Why cypress? Why BK Cypress? Nature has built into Tidewater Red Cypress all of the properties that are desirable in a log home. It is naturally resistant to rot, decay, and termites; no chemical treatment is required. And because our logs are milled only from the heartwood, shrinkage and settling are absolutely minimal.

BK Cypress is unique in the following:

- America's oldest cypress log home manufacturer
- Active in the reforestation of cypress trees
- Custom Blueprints at no extra cost
- Offering America's best warranty of 60 years against rot, decay and termites
- Featured over 40 times in national magazines
- BK Cypress is a sawmill and log home manufacturer
- BK Cypress specializes in the custom designed home
- All milled logs inspected via independent 3rd party (Timber Products Inspection)

Nature's finest wood milled by the **nation's oldest** manufacturer of cypress is the best choice. To tap into decades of experience in this industry, call BK Cypress Log Homes to get started on your dream log home.



BLUE RIDGE LOG CABINS

625 E. Frontage Road
Campobello, SC 29322
888-563-3275
www.blueridgeilogcabins.com

Market Areas

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Dove Tail



Butt & Pass



CORNER DETAILS

Company Information

- 100,000 sq ft state of the art manufacturing facility
- From contract to certificate of occupancy in 120 days
- Custom homes ranging from 400-8,000 sq ft
- Currently building in 32 different states
- We build for residential, commercial and new developments
- NEW mountain architecture series with rustic accents
- Featured on HGTV's special *Amazing Log Homes* in 2007
- Featured in INC Magazine as one of the fastest growing companies in America in 2008 and 2009
- Featured on ABC's *Extreme Makeover: Home Edition* in 2011
- Featured on HGTV's special *Best Ever: Log Homes* and was quoted as "Most Economical Best Ever Log Home" in 2013
- Exclusive log home builder for the Tryon International Equestrian Center in North Carolina



CANADAS LOG PEOPLE INC.

5467 Tatton Stn. Rd
100 Mile House, BC V0K 2E1 Canada
250-791-5222
fax: 250-791-5598
e-mail: sales@canadaslogpeople.com
www.canadaslogpeople.com

Theo Wiering, Owner

Market Areas

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**Company Information**

Established in 1978, Canadas Log People Inc. stands in the forefront when it comes to building hand-crafted log homes. Company owner and president, Theo Wiering, is dedicated to building the finest log buildings possible. Our mission statement is "Built with Quality and Pride". A handcrafted log or timber home is solid, warm, and comfortable and will be a source of pride and satisfaction for many years to come.

Our homes are built primarily with Engelmann Spruce, Douglas Fir and Lodgepole Pine, although we use Western Red Cedar on occasion. We put a high priority on sustainable forestry; we selectively harvest our own timber from designated forestry areas, which are then replanted within two years. We replant 5 saplings for each tree that we harvest. We put back what nature gave us.

Are you looking to build a home that is truly unique, handcrafted and a style that is proven to stand the test of time? A log home is the answer. With traditional post and beam construction that gives an open aired feeling and using timbers or solid log walls, this creates an ambience of a beautiful home. We have the perfect log home plans for everything from a dream log home or a family vacation home at the lake.

COVENTRY LOG HOMES INC.

108 S. Court St.
Woodsville, NH 03785
800-308-7505
603-747-8177; fax: 603-747-3340
e-mail: info@coventryloghomes.com
www.coventryloghomes.com

*Jeff Elliott, President
Mark Elliott, Vice President*

Market Areas

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CORNER DETAILS**Product Literature**

Coventry Log Homes DVD and CD Free
Coventry Log Homes Plans Book Free
or register to view online for free

Company Information

- Factory direct to the customer
- All logs are kiln-dried, eastern white pine, and pre-cut
- Easy assembly. Logs are lettered and numbered to ensure quick and easy construction
- Providing quality log homes at affordable prices is our goal

4 Series to Choose From

- **Craftsman Series**—The sky is the limit on these floor plans. The components we use in this series are second to none.
- **Tradesman Series**—High quality and cost effective design. These plans are designed to make the best use of materials.
- **Cabin Series**—Cost effective package. Structurally sound logs that may have imperfections in appearance help make this series our most affordable package.
- **Recreational Camp Series**—An excellent choice for the weekend getaway without the cost of a full-fledged home.

The most meaningful way to shop is to compare the overall quality, value, package contents and price. When choosing a log home company, you also should consider service, experience and reputation. We have made it easier to compare by offering a log wall package, shell package and our all-inclusive complete package. We are an American owned company and members of the Log & Timber Homes Council, the New Hampshire Better Business Bureau and an Energy Star Partner. Visit us online at www.coventryloghomes.com to view pictures and plans.

EDGEWOOD LOG HOMES

PO Box 509
Athol, ID 83801
208-683-1444
fax: 208-6830549
e-mail: brian@edgewoodlog.com
www.edgewoodlog.com

Brian Schafer-Vinson, Owner

Market Areas

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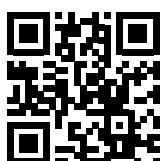


www.edgewoodlog.com

Company Information

Edgewood is an Architectural Design/Build Company that self performs all the critical aspects of unique Log and Timber projects for its special clients worldwide. It all begins with an inclusive and interactive design process, then moves into actual production of the materials [logs/timbers, etc., and other specialized elements], then on site assembly of these materials to match your architecturally design. Only through this one-of-a-kind single source accountability stunning, meet your budgetary goals, and be completed on time, *"because perfect will have to do"*. They will only build a handful of projects at a time, to allow for a fully focused approach to assure thorough success.

Edgewood has lead the industry in product and design innovation for over 33 years. While there are many of these proprietary innovations, the marque is the Glass Forest® architectural element. First developed by the owner and founder Brian Schafer-Vinson in the mid-nineties, Edgewood continues to evolve... and improve on this stunning one-of-a-kind window wall system, leading by example, all the while providing sophisticated architectural wonders for their long list of thoroughly happy clients worldwide... They invite you to come join the Edgewood family.



E LOG HOMES

7310 Tyler Run
Battleboro, NC 27809
250-791-5222
fax: 252-882-5064
e-mail: info@eloghomes.com
www.eloghomes.com

Michael Wild, Information Officer

Market Areas

NE SE GL MW SC W INT'L



Product Literature

Model Line Free Online/Call or email
Photos & Floorplans Free Online/Call or email
Price Guide Free Online/Call or email

Company Information

Among the many reasons to make eLogHomes your log home provider, there are some that set us uniquely apart from the competition:

Unlike most of our competitors, we not only manufacture your log home package, we also provide nationwide shell erection services. Our crews are experienced and reputable log home shell erection professionals, experienced builders who specialize only in the construction of log homes.

We are a manufacturer direct supplier, allowing us to provide our customers with the highest quality and most competitively priced packages available. This, combined with our shell erection service makes us a single point of contact throughout and singularly responsible for every aspect of your log home package.

We specialize in supplying beautiful and functional handcrafted appointments, such as posts, beams, structural & decorative floor and roof systems, and porch and deck railing, adding a flare to your log home that makes it uniquely yours.

Our commitment to you starts with the recognition by our team of the importance that each employee put forth the effort to exceed your expectations. We are committed to diversity, transparency, and completeness:

Diversity - our 300 log home designs allow customers to find designs and styles that fit their needs and wishes.

Transparency - we have full disclosure on both log home materials and construction to be supplied with competitive pricing upfront.

Completeness - we will provide you with the most energy efficient log connection system combined with one of the most sensible complete weather tight packages offered.

ESTEMERWALT LOG HOMES

505 Adams Pond Road
Honesdale, PA 18431
800-515-2060; fax: 570-729-8594
e-mail: homes@estemerwalt.com
www.estemerwalt.com

Kurt I. Propst, President
Elizabeth Reece, Marketing Director

Market Areas

NE SE GL MW SC W



Company Information

For over 130 years Estemerwalt Log Homes has evolved through five generations—from our first portable steam saw to the modern production facility it is today—our vision has remained the same: to provide the finest product with unsurpassed customer service and personalized care.

Our custom crafted homes are manufactured from premium eastern white pine and are available in either full round or D-style. Available in 6-by-8, 8-by-6 and 8-by-8 sizes, our D-style logs are round on the exterior of the home and flat on the interior. Our unique full-round cabin logs are double tongue-and-grooved, pre-cut and offer the beauty of the round log profile, both inside and out. What sets us apart from other manufacturers in the Northeast is our ability to offer larger diameter logs than many of our competitors. Round logs are available in 8-, 10-, and 12-inch diameters. Larger logs not only offer a more dramatic appearance, they can also increase the energy efficiency of your home. We offer either a log-on-log look or a chinked style for a more historical aesthetic.

In addition to our cabin logs, nearly every wood surface that you will see in our homes is cut, dried, and manufactured right here at our Honesdale facility. This includes every timber, milled round post, tongue-and-groove paneling, interior and exterior trim, and flooring. When you choose an Estemerwalt Log Home, you are buying directly from the manufacturer and, as a result, can be assured that we are able to control and monitor the quality of every part of your new log home. Here at Estemerwalt Log Homes we take the time to meet with each and every one of our customers. Our knowledgeable sales staff and in-house design team will work closely with you and your builder, listening to your needs and concerns, making individualized changes and additions to ensure that your complete log home package is tailored exclusively for you. Our log home packages are among the most complete in the industry. You will have everything you need for your log home with no surprises or omissions. Whether you are building a cozy vacation cottage or your primary luxury log home, Estemerwalt Log Homes will make sure you have your one-of-a-kind masterpiece.

But don't take our word for it. Come and visit us for yourself. We welcome the opportunity to discuss your ideas and plans for your new home. Whether it is one of our standard models or your own unique design, we look forward to working with you to produce a home that will reflect your lifestyle and interests.

EXPEDITION LOG HOMES LLC

P.O. Box 700080
Oostburg, WI 53070
877-250-3300; fax: 877-778-3300
e-mail: email@expeditionloghomes.com
www.expeditionloghomes.com

Market Areas

NE SE GL MW SC W INT'L



Product Literature

Design Ideas, 12 pages Free
Log Home Inspirations, 144 pages \$20

Company Information

Expedition Log Homes is proud to offer authentic handcrafted logs combined with energy efficient hybrid building systems (R-25 to R-36 and above) to give you the best of both worlds for your log home. Unlike the wood shapers used by many mills, our manufacturing method takes advantage of the natural character and contour of the tree. Our certified graders inspect each log and every structural log receives a LHC Certificate of Inspection.

Logs are debarked, kiln-dried and then hand-crafted with a drawknife. Many corner styles are hand-scribed and pre-fit for ease in construction providing you with the rustic beauty that only hand-crafting logs will give you.

If your taste is more towards timber products or the precision fit of milled (or shaped) logs, we do that too. Our energy efficient hybrid building system can incorporate any variety of building materials including stone, stucco, shakes, timber and logs to make your home truly unique.

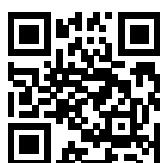
An unwavering commitment to quality is one of the first things that you will notice upon meeting an Expedition Log Homes employee, field representative or homeowner. It's a common bond that we all share. Our role is that of a seasoned guide to thoroughly understand your project and to work as a partner with you throughout the process.

At Expedition Log Homes, we realize that each individual has unique design needs. That's why every Expedition log home floor plan is custom designed and tailor-made to your specifications. We'll show you how to adjust any design style to meet your individual taste and budget.

Let us help you create a log home that sustains both your place of refuge and our planet. When it comes to designing and producing your log home package, we won't compromise on quality and performance. You shouldn't either.

Expedition Log Homes is a member of the Log Homes Council, National Association of Home Builders and the Great Lakes Kiln Drying Association.

Nationwide and international delivery available. For more information on package specifications or to find a field representative near you visit our web site at www.expeditionloghomes.com or call us toll free at 877-250-3300.



GASTINEAU LOG HOMES INC.

10423 Old Highway 54
New Bloomfield, MO 65063
800-654-9253
573-896-5122; fax: 573-896-5510
e-mail: sales@oakloghome.com
www.oakloghome.com

*Lynn Gastineau, President
Dean Crocker, Sales/Marketing Manager*

Market Areas

NE SE GL MW SC W EC WC INT'L

Product Literature



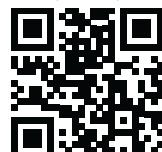
GLH Intro packet and brochure.....Free
Floor plans.....Free online/Call or email

Company Information

Gastineau Log Homes is your custom log home solution. Since we began in 1977, we have been known for being the world's largest (and best) supplier of oak log homes and siding. As we move into a new era of home construction, we are broadening our product line and services. Here are just a few items and services that Gastineau can provide for you:

1. 8x6 or 8x8 heartwood oak logs shaped in any profile you want (F, FB, RD, Chinked)
2. Oak log siding with exposed beam 2nd story flooring for frame construction. We offer a 3" siding with full log corners as well as a 2" option.
3. In House design department that can provide engineer checked, custom 3-D blueprints and free estimates on custom plans.
4. Fully engineered building system to keep your house air tight for exceptional energy efficiency.
5. Post and Beam/Timber frame option instead of full log construction.
6. Pre built solid oak log park models called "Log Cabins to Go"
7. Butt and Pass, Saddle-notched or Dovetailed corners.
8. Will ship worldwide and have built in all 50 states.
9. GLH inspection processes during construction and 6 months after you've moved into your new home.
10. Offer all log species (oak, pine, cedar, cypress, fir)
11. Construction management within 400 miles of our headquarters
12. Maintenance on all log homes within 400 miles of our headquarters
13. Maintenance free option for exterior gables, soffits and dormers.

Gastineau Log Homes builds homes in all shapes and sizes. Give us a call to discuss what you're looking for in your new home. Your needs, wants, time frame and budget will help us figure out if we have a plan in our archive, or if a custom plan may work best for you. Give us a call to see if Gastineau is a fit for you!



GOLDEN EAGLE LOG HOMES INC.

4421 Plover Road
Wisconsin Rapids, WI 54494
800-270-5025
e-mail: info@goldeneagleloghomes.com
www.goldeneagleloghomes.com

Market Areas

NE SE GL MW SC W EC WC INT'L



Product Literature

Plan Book, 75 pages Free

Company Information

Golden Eagle Log Homes makes it easier to buy a log home with our custom architectural design and builder service. Our "Complete" package makes Golden Eagle a one-stop shop. We include professionally designed kitchen & bath cabinets, the fireplace, stone, mantle, plumbing fixtures, interior doors, trim, etc. and we have unlimited choices too!

In today's market, you want to buy from a company who will be there for you. We are a family owned company founded in 1966 with over 5,000 homes sold in 49 states and Canada.

We purchase in bulk and pass the savings onto you. We are also the manufacturer. We offer full and half log styles with size options of 6", 8", 10" and 12".

We offer traditional full log, high performance insulated R-31 full log, insulated half log, and decorative exposed beam timber frame homes. Our logs are kiln-dried and third party inspected.

We offer smooth logs, peeled logs, and hand-hewn logs. We have more choices too, so let your imagination run wild!

We care about you and your new custom home; beginning from the time we start the design, continuing throughout your build, and lasting through the warranty after the sale. Your satisfaction is our main priority at Golden Eagle Log Homes.

We invite you to visit the Nation's finest log home facility. Come tour our professionally decorated model home and "Idea Center" showroom. Take a walk through our state-of-the-art manufacturing plant and dry-kiln. Your dreams will become your reality with Golden Eagle Log Homes.



GREATLAND LOG HOMES

P.O. Box 639, Montrose, CO 81402
65 Chekwa Trail
Gunnison, CO 81230
888-641-0496
970-641-0496; fax: 970-641-5351
e-mail: info@greatlandloghomes.com
www.greatlandloghomes.com

*Eric Williams, President/Engineer
Zane Williams, President/Project Manager*

Market Areas

NE SE GL MW SC W EC WC INT'L



Product Literature

Brochure and Info Packet Free
Catalog and Plansbook, 60+ pages \$20

Company Information

GreatLand Log Homes constructs high-quality, full-round handcrafted log homes at competitive pricing, offering design, log package kits, dry-in packages and turn-key construction. With extensive experience and a vast understanding of log home design and construction, we make each project as individual as you are. Comprised of a diverse staff of engineers, builders and designers, we have firsthand knowledge of how your logs will perform and be used most efficiently. Throughout your GreatLand experience you will see that our company demands excellence and quality and operates with integrity and professionalism in all we do.

At GreatLand Log Homes we also believe in the personal touch. As the owners, we invite you to be interactive not only in the design and detail of your log home, but to be present at the assembly of your log package.

The log package is fabricated at our logyard utilizing TPI-graded full-round logs and is then disassembled, shipped to your project and reassembled at your job site in approximately one to three days. Each log is hand-selected for quality, hand peeled and hand scribed [full scribe] to construct a superior log package. We offer 12-to-16 inch mean diameter logs, joined at the corners with a saddle-notch or V-notch scribe. All logs are full length, leaving no vertical butt joints. The logs are fastened utilizing through-bolt connectors at all corners and at other strategic locations. All log packages are hand-built by master craftsmen. Our standard log wood species is spruce, available both in dry standing dead and winter-harvested, but we also offer pine, fir and western red cedar.

We handcraft log structures ranging from small, cozy cabins to extravagant log homes and lodges. Visit our informative website with more than 60 standard plans or call us to get your project started.

www.GreatLandLogHomes.com



HEARTHSTONE INC.

1630 E. Highway 25/70
Dandridge, TN 37725
800-247-4442
865-397-9425; fax: 865-397-9262
e-mail: sales2@hearthstonehomes.com
www.hearthstonehomes.com

Market Areas

NE SE GL MW SC W EC WC INT'L

CORNER DETAIL**Product Literature**

Hearthstone Brochure..... Call or e-mail

Company Information

Founded in 1971, Hearthstone has manufactured and delivered more than 5,000 log home packages in the United States and overseas. Our homes are marketed direct and through a network of independent representatives throughout the country.

The logs are squared, hewn and chamfered to retain the look and appeal of the traditional Appalachian dovetail style of log home construction. The standard log sizes begin at 6-by-12 inch in lengths up to 40 feet and the other handcrafted options that range in size up to 8-by-22 inch.

Hearthstone is the only manufacturer to offer HeartDried™ timbers. HeartDried™ is long-length, vacuum-dried timbers. Drying in a vacuum makes all the difference. In a vacuum, moisture exits the log at a lower temperature and at a faster rate than in a conventional kiln. The moisture content throughout the logs and timbers can be reduced to a meaningful level. The vacuum chamber is large and is designed to dry large timbers. The drying process within the chamber itself is highly complex, automated and computerized. Our approach is to dry to near the equilibrium moisture content, which will minimize shrinkage and settling as much as possible. When you buy vacuum-dried timbers from Hearthstone, you will invest in clearly understandable specifications such as moisture content throughout the logs and timbers.

As always, Hearthstone is your leader in innovation, quality and commitment to the customer. We never quit searching for popular, practical, affordable product design and technology improvements. You can't really get to know us, or our homes, by looking at catalogs or the website. Call us. Come and visit us. We'll show you through our owner's personal home.

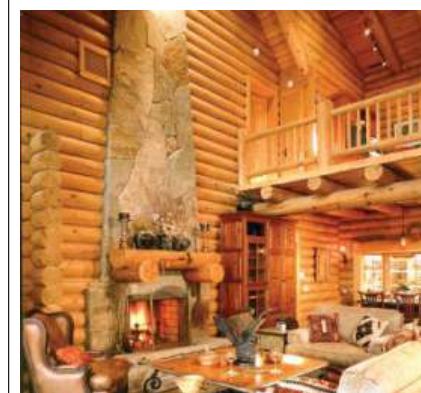
To schedule a home tour, and for free literature, simply call 800-247-4442 and ask to speak to a professional project manager.

HIAWATHA LOG HOMES

E10003 M28 East
Wetmore, MI 48985
877-275-9090
e-mail: lh@hiawatha.com
www.hiawatha.com

Market Areas

NE SE GL MW SC W EC WC INT'L

**Product Literature**

Full-color catalog PDF.....	Free
Available for download at hiawatha.com	
Award-winning, full-color Catalog Hard Copy	\$5.95
Order online at hiawatha.com	
Company Informational Video.....	\$5.95

Company Information**Company Information**

You control the design as you work side-by-side with Hiawatha's award winning in-house design department that uses the latest ArchiCAD® custom architectural design program to accurately and efficiently engineer your floorplan and structure the detailed cuts of your new log home.

Centered in the Hiawatha National Forest, on the beautiful shore of Lake Superior, in the Upper Peninsula of Michigan, Hiawatha Log Homes has been designing custom log homes since 1983.

Northern White Cedar or Red Pine

Log Profiles in 12", 10" or 8" diameters; All species are graded and stamped by Timber Products Inspection Agency and are available in Swedish Cope, Double T&G, and full round profiles. Additionally, Hiawatha offers several accents to all of our diameters and profiles. Our popular Hand Hewn Accent provides the look of a handcrafted home, and the kiln dried structural dependability of a milled product. Our D-Log not only showcases the natural beauty of the wood, but also allows for a flat surface on the interior of the home, either the entire interior or as desired feature walls. All corners are saddle notched increasing the structural integrity of the wall system while maintaining the aesthetic quality of a finely crafted home.

Northern White Cedar or Northern Red Pine

Your logs are graded and stamped by Timber Products Inspections. Choose between a 12", 10" or 8" diameter log of either red pine or white cedar. Each log is "winter cut" and kiln dried for unsurpassed quality and dimensional stability, a technique that is unmatched in the industry and exceeds national building codes.

Time-Tested and Proven Log Profiles

Hiawatha offers a Scandinavian Full Scribe Profile, which provides for a tight, permanent fit, your wall log systems are custom milled with a Swedish Cope Profile and Saddle-Notched Corner System to provide lifelong durability and water resistance.

Due to increased demand, Hiawatha Log Homes is accepting new Builder/Dealer applications, contact us today at 877-275-9090 or visit www.hiawatha.com to see how you can win with Hiawatha Log Homes!

HOCHSTETLER MILLING LTD.

552 Highway 95, Dept. LHL
Loudonville, OH 44842
800-368-1015
419-368-0004; fax: 419-368-6080
www.hochstetlerloghomes.com

Market Areas

NE SE GL MW SC W EC WC INT'L

**Company Information**

Hochstetler Milling Ltd. with a long heritage of quality products and fine Amish craftsmanship, has grown steadily since its inception in 1986. Our Buy Mill-Direct and Sale operation has enabled customers to save substantially and make their dream of owning a quality log home an affordable reality.

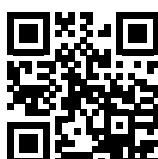
It all starts with our forestry management. This combined with our own sawing, kiln drying and log home milling operation, gives us complete quality control of materials, surpassed by none. You can choose from premium-quality, milled logs in three profiles: D-logs, double-round and square in various sizes from 6x6 through 9x12. Most sizes are available in dovetail, saddle-notch and butt-and-pass corners. Species available are eastern white pine, northern white cedar, western red cedar and cypress with finished surfaces that include planed smooth, rough-sawn, hand-hewn and hand peeled. Our post and beam structural timbers for the loft and roof system are dense free of heart center #1 Douglas fir; simply the best that money can buy. Hybrid timber homes with exterior siding or "half-logs" are also available.

Our packages can be as complete as you want, from logs only to virtually everything you need to build a log home. There's no need to shop around when you can "one stop" shop at Hochstetler. For the products we don't make ourselves, we partner with trusted companies like Andersen Windows® and Therma-Tru Doors® to supply you with only the best building components. A step-by-step construction manual is provided with each package.

Our outstanding quality does not stop with the building materials; it is stressed in every aspect of our business. For instance, we have experienced designers that will meet with you and transform your dream into a well planned, energy-efficient home. Or if you prefer, choose from one of our 45 plus floor plans and have our designers modify them to suit your needs. As members of the Log Home Council and their certified grading program, only the finest logs and timbers are selected for your log package. This coupled with our 10 year limited warranty, and the fact that we are a first and second-generation family owned business offers you outstanding peace of mind.

Call or write for a free brochure or you can order a \$10 portfolio that features 45 floor plans and a planning guide.

Feel free to visit us at www.hochstetlerloghomes.com or better yet, personally visit our two furnished models the "McKay and Blackfork" and see the quality for yourself. They are open Monday through Friday 9:00 a.m. to 5:00 p.m. and Saturday 9:00a.m. to 2:00p.m.



HONEST ABE LOG HOMES INC.

9995 Clay County Highway
Moss, TN 38575
800-231-3695
931-258-3648; fax: 931-258-3397
e-mail: info@honestabe.com
www.honestabe.com

Market Areas

NE SE GL W INT'L



Product Literature

Floor Plan, Product & Planning Guides.....\$10

Company Information

Honest Abe Log Homes manufactures and builds custom log and timber frame homes. Each log or timber frame home is precut, notched and numbered using modern, state-of-the-art manufacturing practices. These precut packages are shipped throughout the United States and the world.

Honest Abe has been in the log home business since 1979, but it has been involved in the wood products business since well before that. Many years of experience and thousands of homes completed make Honest Abe a very dependable company. In fact, Honest Abe encourages visitors to their national headquarters in Moss, Tenn., to verify this dependability for themselves. Customers can see the large inventory maintained, view the manufacturing and business practices and discover the various quality products available from Honest Abe.

A variety of log systems are offered, including D-Logs, round, Appalachian-style, chinked and non-chinked. These systems are precut, notched and numbered. All logs are kiln dried, TPI graded, stamped and meet or exceed national grading standards.

A variety of doors and windows are available including Jeld-Wen®, Pella® and Anderson®. Subfloor, second-story beams, tongue-and-groove, roofs, porch and deck materials, interior trim, interior doors and interior tongue-and groove make for a very complete package.

Honest Abe homes are marketed throughout the world through direct sales offices in Tennessee and a network of independent dealerships throughout the country. Honest Abe will contract to build the log home to a dry-in stage within certain distances of the national headquarters. Independent dealers are available in many different parts of the nation to provide construction services.

Call 800-231-3695 for a free brochure, to ask questions or to order the catalog of plans and products. Visit the website at www.honestabe.com and become a member of Honest Abe Extra to receive access to exclusive photos, floor plans and other content. Honest Abe offers a variety of events from construction tours, home tours and log raising demonstrations, all of which can be found on the website.



INTERNATIONAL HOMES OF CEDAR INC.

P.O. Box 886
Woodinville WA 98072
800-767-7674
360-668-8511; fax: 360-668-5562
e-mail: ihc@ihoc.com
www.cedarleader.com

Rodney Robertson, President

Market Areas

NE SE GL MW SC W EC WC INT'L

ENGINEERED TIMBER PROFILES



Product Literature

Where's Home for You, 100 pages.....\$15

Company Information

IHC is in its fifth decade of providing the finest custom homes and commercial structures around the world. We introduced engineered timber walls to the industry in 1966. We combine engineered timbers with our patented precision interlocking system to build one of the strongest structures in the world. Our homes have withstood hurricanes, earthquakes and other disasters undamaged. We have numerous customer testimonials and an extensive portfolio.

Use of engineered timbers allows IHC to use only second growth, sustainable yield, kiln dried, inland western red cedar and/or ponderosa pine that has been carefully selected for its inherent beauty. Our engineered timbers virtually eliminate the twisting and warping often seen in solid timbers and logs, and also dramatically reduce shrinking, cracking, and splitting. Chinking or jack screws are never necessary with our system. Our homes are easy to maintain and offer the legendary pest resistance of western red cedar. An engineered timbers thermal performance is superior, offering excellent energy efficiency in extreme climates. IHC homes span the globe from the equator to north of the Arctic Circle, and as far south as Australia.

Customers can build a custom IHC cedar home at a price that is competitive with conventional frame construction and significantly less expensive than most log and timber frame constructed homes.

Uncompromising quality and integrity are the foundation for everything that we do. We will stand beside you throughout the entire process from concept through completion. Our team of in-house design professionals allow us to turn your ideas into reality. We offer the highest quality and one of the most comprehensive standard material packages in the industry, with the option to modify and customize almost any aspect of the building package.

We are committed to exceeding your expectations and helping you bring your dreams to life with a home that will last for generations. Contact us today for your free brochure or to order our planbook.



JEREMIAH JOHNSON LOG HOMES

1501 County Road 308
PO Box 141
Dumont, CO 80436
LiveInLog.com
Dennis Anderson, General Manager

Market Areas

NE SE GL MW SC W EC WC INT'L



Company Information

Jeremiah Johnson Log Homes is the country's premier handcrafted post and beam, timber frame and log home manufacturer. We pride ourselves in building not just a log home, but rather a warm and inviting residence tailored to your individual needs and personality. By utilizing five species of old growth timber, our homes are embellished with unique character features so each and every home we build is a unique work of art.

As a manufacturer, designer and general contractor, Jeremiah Johnson Log Homes understands the complexities of building in remote, breath taking and often difficult environments. Our general contracting division has been constructing turn-key log homes for over two decades. In addition, we provide technical consultation for all of our customers and their builders nationwide. It is also our policy to set each and every log package that we create.

Jeremiah Johnson Log Homes is much more than a log home manufacturer and builder. We work with you from start to finish by providing the guidance you may need such as Plan Development, Engineering, Financing, and Permitting. We can also recommend reputable builders in your area to partner with our team.

Whether you need a small cabin in the woods or a large commercial facility, the seasoned experts at Jeremiah Johnson Log Homes will make your dream a reality. We invite you to view our extensive log home plan and photo gallery at www.LiveInLog.com. If your plans include a trip to Colorado, make sure to visit our distinctive, hand-crafted, Western Red Cedar model home located 45 minutes west of Denver on I-70 in Dumont.

Call us today at 877-567-2202 and thanks in advance for making us part of your legacy. If Not Now....When?



JIM BARN LOG AND TIMBER HOMES

400 Bear Creek Rd.
Oneida, TN 37841
800-962-4734
423-569-2180; fax: 423-569-1686
e-mail: info@jimbarna.com
www.jimbarnalog.com

Market Areas

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Product Literature

Home Planning & Resource Guide.....\$15

Company Information

Jim Barna Log and Timber Homes is one of the largest and most innovative log home manufacturers in the United States. Our founder, Jim Barna, shaped the landscape of today's log home and market. More than thirty-five years ago, he started the trend of milling the logs to specific, uniform tolerances and joining them together with interlocking saddle-notch corners and tongue-and-groove walls to keep the structures weather-tight and the logs straight.

Since then, Jim Barna Log and Timber Homes has developed multiple log systems that provide innovation, integrity and ease of construction. Graded logs, kiln drying, pre-cutting, profiled corner notches, log adhesive and log screw assembly make Jim Barna Log and Timber Homes substantially stronger and more energy-efficient than many other log walls on the market. The result is a home that will remain comfortable and beautiful for generations.

Our goal is to help you get the house you want. We have many standard plans any of which can be modified to better suit your lifestyle. If need be we can design a custom home for you based on the criteria you provide. Our drafting department and design center will work with you to create the home you've always dreamed of.

Jim Barna Log and Timber Homes also provides a free, one-day seminar for log home enthusiasts designed to provide the essentials you'll need to make informed log home decisions. You'll get a first-hand look at the products and services offered to all potential Jim Barna Log and Timber Homes customers. Our representatives provide information on all aspects of our log home product lines and construction procedures. We can assist you in bringing your vision into reality and never rush you into making a purchase decision. Plus you will get to tour some beautiful Jim Barna Log and Timber Homes!

With over 40 years of selling tradition, experience and many homes across America and around the world, Jim Barna Log and Timber Homes has the experience, the products and the services you need to turn your dreams into your dream home.

KATAHDIN CEDAR LOG HOMES

P.O. Box 145
Oakfield, ME 04763
800-845-4533
207-757-8278; fax: 207-757-8268
e-mail: info@katahdincedarloghomes.com
www.katahdincedarloghomes.com

Market Areas

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Product Literature

Corporate Catalog.....Free Online; \$18 hard copy

Company Information

Katahdin Cedar Log Homes was founded in 1973 with a single vision in mind: produce the highest quality log homes in the most efficient and responsible way possible. Today our small Maine business is the largest cedar log home producer in North America, with over 75 dealerships across the United States; however, our vision still remains the same. Our expert staff, in-house design team, and nation-wide dealer network will guide you through every step in the process, from concept and design through construction.

KOSKI LOG HOMES

35993 U.S. Highway 45
Ontonagon, MI 49953-9423
906-884-4937
www.koskiloghomes.com
Jerry and Linda Koski

Market Areas

NE SE GL MW SC W

CORNER DETAIL



Product Literature

Plans/Information Package\$5

Company Information

We build top-quality, custom-built, handcrafted log homes using full-length red and/or white pine logs (no butt joints) in the Scandinavian full-scribe method with the scarf notch. You can choose log diameter sizes from 12 to 36 inches.

Proper treatment of logs is essential from start to finish. We purchase logs cut only in late fall to early spring, which is very important. After we remove the bark, we stack them properly and cover them with tarps to keep out the rain while still allowing air circulation to dry out the logs. The logs are stored this way for usually one to three years. Once a home has been built in our logyard, it is covered with these tarps to keep out the elements, protecting the wood until the home is delivered to the customer's property. We pride ourselves in the extra care given to our logs to ensure their original beauty.

We send our crew to deliver and set up the home on the customer's foundation. We also do the roof system up to, but not including, the shingles.

Our homes are not priced by the square foot, but rather by the floor plan, diameter size of logs used, location of delivery of the home and time frame of delivery.

We have more than 39 years of experience, have built 167 homes since we started and give very personal service. We are also a dealer of Sikkens Wood Finish.



LOG HOME OUTFITTERS

National Sales Office

4489 Clara Louise Ct.

Saline, MI 48176

877-944-LOGS (5647); fax: 734-944-1578

e-mail: sales@loghomeoutfitters.com

www.loghomeoutfitters.com

Northern Regional Sales Office

877-944-LOGS (5647)

Located in Michigan

Southeast Regional Sales Office

877-474-LOGS (5647)

Located in Georgia

Canadian Regional Sales Office

519-427-6401

Located in Ontario

John Kacic & Chris Doyle, Owners

Market Areas

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AVAILABLE PRODUCTS:

**Solid Log Walls
(12 Log Profiles)**

**Log Siding & Corners
(5 Log Siding Profiles)**

**Timber
Frames**



Product Literature

Brochure and Information Packet Free
Log Home Outfitters-Multi-Media DVD \$10.00

Company Information

Log Home Outfitters was founded on the belief that high quality log and timber frame homes can be delivered to our clients at a reasonable cost without giving up on quality and service. We realized there is a need in our industry to supply clients with the means to realize their dreams. We provide our clients with the tools to create their dreams that would be only limited by their imagination.

Log Home Outfitters offers our customers many different products to choose from. From the corporate sales office to our many Dealer locations throughout the United States, Canada, and the Dominican Republic; we are here to assist you in achieving your dream in the lifestyle you have chosen to make.

Log Home Outfitters offers solid logs with 12 different log profile choices. All of our solid log wall systems incorporate our "Constant Compression Log Wall Fastening System" which controls the settling that occurs with solid log walls. If solid logs are not what you are looking for, we offer log sided construction with 5 optional profile choices. Our log sided profiles and corner options are the most realistic in the log home industry. Last but not least, Log Home Outfitters offers timber frames. Let our dealers assist you with understanding the ins and outs of timber framing. With these three styles of building systems; Log Home Outfitters can make your lifestyle dreams come true.

With many floor plans to choose from at Log Home Outfitters, over 90% of the log homes delivered are custom designs. We offer custom floor plan design services to our client which usually starts with making an appointment with one of our authorized Dealers. So please checkout our website to visit a Dealer's model in your area.

Realize your dreams with peace of mind.



LOG HOME OUTLET INC.

P.O. Box 1703

Idaho Falls, ID 83403-1703

208-542-2772

fax: 208-535-0343

e-mail: sales@loghomeoutlet.com

www.loghomeoutlet.com

Market Areas

NE SE GL MW SC W EC WC

CORNER DETAIL



Company Information

Log Home Outlet is a log home package supplier that specializes in selling logs at a discounted price to builders and the public. The majority of the log home packages we sell in the United States and Canada qualify for our free shipping promotion.

We offer extremely dry logs which minimize settling. Our logs are grade stamped to TPI (Timber Product Inspection) standards. The majority of customers build using our Swedish cope wall logs. We offer two styles, our most popular Cabin Appearance which is more rustic, and our Standard Appearance which is a more uniform finish. We also offer tongue-and-groove D-logs. Most of the wall log packages we ship are random length, although we also offer pre-cut and full length wall packages. In addition to the log walls customers will also purchase our affordable tongue-and-groove decking, log beams, log railing, and log stair sets.



LOG HOMES CANADA

8446 Grand View Drive

Chilliwack, BC V2R 4A2 Canada

888-564-2833

604-847-9700; fax: 604-847-9707

e-mail: loghomescanada@shaw.ca

www.loghomescanada.com

Colin Ollenberger, Owner

Shane Kutzer, Owner

Market Areas

NE SE GL MW SC W EC WC INT'L

CORNER DETAIL



Product Literature

Brochure & Sample Plans.....Free

Company Information

We are Canada's foremost domestic and international supplier of fine, handcrafted log homes. We are a father and son team offering over 45 years of expertise in manufacturing some of the finest quality log homes with a very personal artisan's touch. We believe in providing the utmost care and precision right from the initial design stage through to the delivery of your dream home. Our commitment to our customers at every level is renowned and evidenced by the lasting relationships we have developed over the years. Our testimonials speak for themselves. We take great pride in our sterling reputation.

We use only the finest quality Western Red cedar and Douglas fir logs and our skilled craftsmen and service staff are available year-round to discuss, design and build your log home. You will have your very own photo journal website with which to follow the progress of your home as it's being built. Our team works with you at every phase through delivery, set up and aftercare.

Log Homes Canada [a division of Chilliwack Mountain Log Homes Ltd.] are fully registered with the Canadian Department of Foreign Affairs. We are proud recipients of a 2003 BC Export Award. We are a 100 % family-owned-and-operated, Canadian log home manufacturing company, located in Chilliwack, British Columbia, Canada.



LOK-N-LOGS INC.

P.O. Box 677
State Highway 12
Sherburne, NY 13460
800-343-8928
607-674-4447; fax: 607-674-6433
e-mail: Inlinfo@loknlogs.com
www.loknlogs.com

Market Areas

NE SE GL MW SC W EC WC INT'L

CORNER DETAILS



Product Literature

Full Catalog PDF Download Free
Available for download at loknlogs.com

Company Information

Lok-N-Logs Inc. markets its pre-cut log home packages through a nationwide dealer network, a main office/models complex and a satellite office.

In 1992, Lok-N-Logs became the first log home manufacturer committed to pressure treating all log components with sodium borate, an EPA-registered preservative. We offer the industry's first transferable lifetime warranty against damage to your log components by wood-digesting insects or decay. Sodium borate will not change the wood's natural appearance, has no unpleasant odors and provides protection for logs without potentially hazardous solvents.

Using plantation-grown red, Lok-N-Logs saws, peels, kiln dries, sodium borate pressure treats and fully pre-cuts your log home components. We offer a wide range of log style choices and our pre-cut log packages result in substantial construction cost savings. Exterior log surfaces can be rustic peeled, milled smooth [D profile] or clapboard style. Interior choices include our rustic-peeled profile [traces of cambium give the logs an authentic peeled look], shaped round and flat.

Lok-N-Logs offers different profiles for your wall logs. Classic Log offers 6-by-8-inch D-log and 6-by-8 to 11-inch rustic peeled. Log interface consists of a 1/2-by-2-inch single tongue-and-groove, with a 2-inch wide, closed-cell gasket, sealed with an internal bead of caulk. Log corners are pre-cut mortise-and-tenon joints with relief grooves, gasket and caulk.

With our log, Cost saver, Weatherite and Complete packages we can supply from a log only to a more complete shell-in materials package.

Lok-N-Logs is a member of NAHB and the Log Homes Council. Visit our website for company updates, seminar schedules and to view our standard models.



MAPLE ISLAND LOG HOMES

415 Cass Street, Ste 2E
Traverse City, MI 49684
800-748-0137
e-mail: richard@mapleisland.com
www.mapleisland.com

Market Areas

NE SE GL MW SC W EC

Product Literature

Planbook & Brochure Free
Available for download at mapleisland.com



Company Information

Since its inception more than 35 years ago, Maple Island has built more than 1,000 authentic, hand-crafted residences and commercial log structures across North America.

Our log crafters are highly skilled in the art and science of handcrafting. Logs maintain their unique personalities, and are naturally tapered. They aren't milled or shaped to conform to any uniform thickness as is done with pre-cut style homes.

Our homes have a more natural appearance with logs that have their natural taper, are full length and are hand-peeled to bring out their beauty, grain and dimension. There are no butt-joints or splices as can be the case in milled homes.

Logs are selectively harvested from the forests of Michigan. They're stripped of bark to aid in the drying process and later, hand-peeled using a drawknife... much more effort but this is where the difference is so apparent to a handcrafted log structure.

Each home is first carved and built at our log yard, which provides the opportunity of a great selection of logs. Standard sizes use 11 to 14 inch butt diameter trees. With advance notice, we are able to provide 15 to 17 inch and often even larger logs.

Integrating the logs into the log-work shell at the yard, each is individually scribed, notched and fitted into position. Significant skill is needed to make sure the notching of each log is visibly tight.

The log shell package is fully pre-assembled at the log yard, where an average-sized home can be built in about 12 weeks. It is then dis-assembled, loaded onto trailers and shipped to the building site. Reconstruction of the logs can usually be accomplished in 3 to 5 days.

Maple Island can work with outside architects but also has a trained architectural team to custom design each home and provide necessary technical guidance during the finishing of the home.

When completed, the home will be an individually handcrafted masterpiece...both of design and well as construction artistry. Each home is unique, and singularly unforgettable in its warmth, distinction and style.



MONTANA LOG HOMES

3250 Highway 93 S.
Kalispell, MT 59901
406-752-2992; fax: 406-257-7014
e-mail: info@montanaloghomes.com
www.montanaloghomes.com/lhl

Market Areas

NE SE GL MW SC W EC WC INT'L



Product Literature

Floor Plan Guide, 60 pages.....	\$10
DVD, 17 min	\$10
Both.....	\$15
Brochure	Free

Company Information

Montana Log Homes has specialized in creating unique, handcrafted, log cabins, homes and lodges since 1975. Owners James Bachofner and Brad Neu established the company's excellent reputation using the Scandinavian Full Scribe method of construction. Chink Style construction is also available in full-round with saddle notched corners or milled two sides with Dovetail corners.

Montana Log Homes will work with your own design or our in-house design service will help you create a design that reflects your personality, lifestyle, and dreams for your log home. Clients are offered full length, dry seasoned, Lodgepole Pine or Engelmann Spruce in sizes ranging from 12" to 24" base diameter. Logs are handpeeled with a drawknife to preserve the natural color, taper and character of each log.

Your log package will be handcrafted entirely in Montana Log Homes' assembly yard in Kalispell, Montana. The logs are then numbered, disassembled and transported to your homesite and re-assembled by our experienced crew anywhere in North America!

Log package prices vary depending on design, log size chosen and destination, so please call or e-mail us for a free price quote.

First in quality, craftsmanship and customer satisfaction.



NATURAL ELEMENT HOMES

2531 Decatur Pike
Athens, TN 37303
800-970-CABIN
270-682-4136
e-mail: info@NaturalElementHomes.com
www.NaturalElementHomes.com
Robert Lambert, Owner & President

Market Areas

NE SE GL MW SC W EC WC INT'L



Company Information

For an easy, exciting, and rewarding experience...Natural Element Homes!

The process of planning, designing, and building a home should not be difficult and stressful. Instead, you should have a pleasurable and memorable experience. But, if you are not an expert, you can easily fall prey to unscrupulous people whose primary concern is themselves. It's ashamed that some folks take advantage of their fellow man, but the world is full of people like that. We gently and confidently lead our customers through the maze associated with building a new home. We guide them along the path. We protect them and provide for them. We become their trusted friend. We've done this thousands of times, and we know the route and what lies around each corner. Our customers are comforted by our expertise, and they welcome and rely on our guidance. Our focus is on YOU! After all, it's YOUR dream!

For a home that's not like everyone else's... Natural Element Homes!

People who choose a Natural Element Home want something different, a home that is a notch above the usual cookie-cutter design and reflects their taste and lifestyle. We help you create a home that is uniquely you. You can start with a home plan from our vast library, or we can start your design from scratch, borrowing inspiration from our portfolio of home designs.

THE ORIGINAL LOG CABIN HOMES LTD.

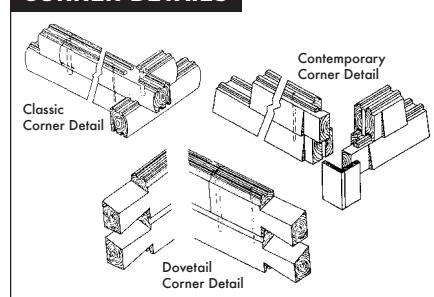
P.O. Drawer 1457
513 Keen St.
Rocky Mount, NC 27802
800-562-2246
fax: 252-454-1550
e-mail: info@logcabinhomes.com
www.logcabinhomes.com

Steve Brumfield, National Sales Director

Market Areas

NE SE GL MW SC W EC WC INT'L

CORNER DETAILS



Company Information

It is the journey of a lifetime that begins with the dream of designing and owning your very own Original Log Cabin Home. We are the Original Log Cabin Homes and we have been helping people get back to nature and renew their spirit of adventure since 1987.

Taking Precision to a New Level

Our joinerries are equipped with the latest technological advancements. A high-tech integrated saw system is at the heart of the operation capable of producing log sizes up to 12-feet-by-12-inches. The most important aspect to know is that we offer the widest variety of log profiles from which you can choose.

Native Species for Original Tastes

The Original Log Cabin Homes offers eastern white pine, western red cedar, northern white cedar and bald cypress as our standard species options. We also have many other species available such as redwood, scotch pine, spruce, Douglas fir and more.

PAN ABODE CEDAR HOMES

1100 Maple Ave. SW
Renton, WA 98057
800-782-2633
425-255-8260; fax: 425-255-8630
e-mail: info@panabodehomes.com
www.panabodehomes.com
Kevin L. Sloan, President

Market Areas

NE GL MW SC W EC WC INT'L



Product Literature

Custom Home Guide with DVD, 180 pages.....\$15

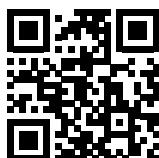
Company Information

Since 1952, Pan Abode Cedar Homes has manufactured thousands of high-quality buildings of distinction featuring western red cedar. Recognized worldwide for superior craftsmanship, ease of construction, and the highest quality materials. Their custom-designed homes provide expansive living spaces featuring cathedral ceilings, exposed beams and walls of glass.

Pan Abode Cedar Homes offers professional home design and free material estimating as a service to their customers. Pan Abode Cedar Homes also has available to order a Custom Home Guide which includes an Idea Book, Photo Album and DVD. The Idea Book includes literature about the company, information on how to design your new home, sample material specifications, 70+ standard plans and a price guide. The Photo Album depicts building interiors and exteriors built throughout the world. The DVD is their narrated explanation of the company's process and what they do best, design and produce exceptional building systems for the money.

Pan Abode Cedar Homes offers three major building systems to choose from. Each has its own variations for cost, energy and aesthetic feel. They offer two solid timber walls systems. The Phoenix System, a corner-post system utilizing solid laminated western red cedar wall timbers available as D-log or flat profile. The Classic Timber building system joins wall timbers with an interlocking cross-joint, and the Post & Beam building system utilizes state-of-the-art framing techniques along with industry engineered wood systemology for design flexibility.

We are confident that you will find that Pan Abode Cedar Homes offers the best value in the custom and systemized home market. We welcome the opportunity to earn your business. Dealerships are available and Pan Abode Cedar Homes are seeking to add new income-oriented entrepreneurs to its worldwide-recognized association of independent dealers. Be sure to visit their well developed website to answer questions about this extraordinary customer service focused company.



PrecisionCraft Log & Timber Homes

711 E Broadway Ave
Meridian, ID 83642
800-729-1320
e-mail: info@precisioncraft.com
www.PrecisionCraft.com

Jim Banner, President

Market Areas

NE SE GL MW SC W EC WC INT'L



Handcrafted and Milled Log Homes



Timber Frame Homes



Hybrid Log & Timber Homes

Product Literature

At a Glance Book Free

Company Information

PrecisionCraft is the industry leader in the design and production of custom mountain style homes. PrecisionCraft's Total Home Solution® will ensure that your home is of the highest quality, and built for the best price.

See the process unfold and explore different design options at www.PrecisionCraft.com.



REAL LOG HOMES

61 Plains Road
Claremont, NH 03743
800-REAL-LOG (732-5564)
fax: 603-542-5090
e-mail: info@realloghomes.com
www.realloghomes.com

Market Areas

NE SE GL MW SC W EC WC INT'L



Product Literature

Plan Book, 100 pages \$10

Company Information

EXPERIENCE

Real Log Homes has worked successfully with more than 30,000 customers over our 50 year history to construct log homes, from New England, to the West Coast, and all of North America, as well as Europe and Asia.

DESIGN

Real Log Homes has a staff of eight dedicated designers. Our designers and plan designs have been the recipients of numerous design awards and magazine stories. Our designers and engineers are creative and innovative.

SERVICE

Real Log Homes provides quick answers and is easy to work with. You have someone with experience to lean on. We can meet with you in person, or with web based conferencing. Using computer models and architectural fly-throughs, we can keep you involved in the design process and move your project along quickly, efficiently and economically.

OPTIONS

Real Log Homes offers numerous options and choices including solid log walls in nine different profiles and sizes, structural and ornamental timber elements in almost every shape and size, and even super energy efficient (R-24) panelized walls with log siding.

INDEPENDENT REPRESENTATIVES

Real Log Homes has an international network of over 60 experienced designers and builders providing you with local service and assistance, as well as putting a wealth of professional experience at your disposal.

SATISFIED CUSTOMERS

Real Log Homes' greatest sources of pride are the many testimonials and letters of thanks we have received from our satisfied customers and builders. We encourage you to read these submissions on our website.

INVENTORY

Real Log Homes purchases materials in quantity, and passes the savings on to you. We maintain a large inventory of logs, timbers, v-groove, and other materials at all times. Our purchasing power and on-hand inventory translate into savings in both time and expense for our clients.

GUIDANCE

Real Log Homes' project managers each have many years of experience providing guidance and solutions for our customers. We make every effort to make your building experience enjoyable and trouble-free. Our experience helps eliminate unexpected complications by asking the right questions, planning ahead, communicating effectively, and guiding each project from inception to completion.

ROCKY MOUNTAIN HOMES

1883 Highway 93 S.
Hamilton, MT 59840
406-363-5680; fax: 406-363-2109
e-mail: inspiration@rmlh.com
www.rmlh.com

Market Areas

NE SE GL MW W EC WC INT'L



Product Literature

Plan Book and CD \$15

Company Information

Rocky Mountain Homes is the evolution of over 40 years of Rocky Mountain Log Homes. Log homes have evolved and so have we. In a world where anything can be reproduced, we celebrate the one material that has passed the test of time, naturally dry-standing western woods. We love wood. We remain the leader of providing the finest mountain style homes in the country. We provide the best design-build service of wood homes and we truly listen to your ideas and translate your vision into reality. Expect great things from your Rocky Mountain Home and a great experience as well.

Learn more about the Rocky Difference at www.rmlh.com.



SATTERWHITE LOG HOMES

Headquarters

8405 U.S. Highway 259 N.
Longview, TX 75605
800-777-7288
903-663-1729; fax: 903-663-1721
e-mail: info@satterwhiteloghomes.com
www.satterwhiteloghomes.com

Eastern Division

14378 Hwy. 515 N; Ellijay, GA 30536
800-918-6881
georgia@satterwhiteloghomes.com

Western Division

911 East Hwy. 89 N; Gunnison, UT 84634
888-882-4645
utah@satterwhiteloghomes.com

Market Areas

NE SE GL MW SC W EC WC INT'L



Product Literature

Color Brochure/Plansbook, 96 pages \$10
DVD-Introductory, 30 min. \$5

Company Information

Founded in 1974, Satterwhite Log Homes harvests standing dead timber and manufactures it into dry, stable house logs in a variety of sizes and profiles. Satterwhite logs have a 17 percent or lower moisture content for stability and a simplified construction system.

Satterwhite manufactures and warehouses tongue-and-groove decking, log siding, timbers to 33 feet in length and an array of tongue-and-groove lumber paneling for interior walls and ceilings.

Because Satterwhite Log Homes is an independent family-owned business involved in every phase of the log industry—from harvesting to manufacturing and custom building—there are no middlemen or franchise fees to drive up costs.

Satterwhite offers custom shell construction in nine southern states, but offers materials sales throughout North America, the Far East and Europe. Sales, warehousing and construction services are located at Satterwhite's headquarters in Longview, Texas.

Satterwhite is currently constructing two new model homes at our Longview, Texas headquarters. These homes may be toured during normal office hours. The company also maintains a mill and sales office in Gunnison, Utah. The Mountain Laurel, one of Satterwhite's Mountain Inspiration floor plans, serves as both model home and sales office in Ellijay, Georgia.

Our 96-page brochure and plan book offers 35 stock floor plans. The new Mountain Inspirations brochure features 9 new floor plans suitable for mountainous building sites. However, our onsite design service is ready to assist in custom designs. We offer one of the most comprehensive material packages on the market.

Our 41 years of custom log home construction experience brings a level of quality which is unsurpassed in the industry.



SIERRA LOG HOMES

3650 Morrow Lane
Chico CA 95928
800-899-0680
530-899-0680; fax: 530-899-0688
e-mail: larry@sierraloghomes.com
www.sierraloghomes.com

Larry Trimboli, President

Market Areas

NE SE GL MW SC W WC

CORNER DETAIL



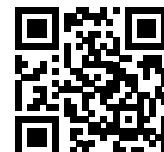
Company Information

Established in 1991, Sierra Log Homes has been designing, manufacturing and packaging beautiful custom log homes throughout the United States. It is the only company that actually produces all three types of log homes: solid wood and milled-to-profile log homes, engineered [laminated] and milled-to-profile log homes and handcrafted log homes both chinked and full scribe.

Sierra specializes in big logs with no butt joints. Most of our log sizes can be produced with nominal to no butt joints. This creates the ultimate beauty for a log wall...it does not get any better than that.

Sierra is your one stop shop for design and engineering. Our clients are thoroughly taken care of with a full in-house staff of designers and engineers [obviously specializing in the tough California standards]. All of our log homes are beautifully custom designed using state of the art 3-D photo realism technology. Sierra also brings the highest level of visual and electronic communication through our exclusive web-based project management hub and client web site. Our 3-D design service is by far the most impressive service you will ever experience.

The Sierra staff is passionate about taking care of you...our client. From the day we meet, to the day you are done, we are there supporting the many needs you could have. Whether you are an owner builder or have the project fully contracted, our caring support and communication commitment forms the most unique long term relationship, a foundation that you can rely on, and that's the formula for success and beauty.



SOUTHLAND LOG HOMES

P.O. Box 1668; 7521 Broad River Road
Irmo, SC 29063-1668
800-641-4754
fax: 803-781-5128
e-mail: info@southlandloghomes.com
www.southlandloghomes.com

Sales Office Locations:

Birmingham, AL; Interstate 65 at Exit #246
Atlanta, GA; Interstate 20 at Exit #88
Macon, GA; Interstate 75 at Exit #149
Louisville, KY; Interstate 64 at Exit #32
Baton Rouge, LA; Interstate 10 at Exit #177
Charlotte, NC; Interstate 77 at Exit #36
Greensboro, NC; Inter. 40/85 at Exit #135
Columbia, SC; Interstate 26 at Exit #101B
Greenville, SC; Interstate 85 at Exit #40
Memphis, TN; Interstate 40 at Exit #20
Nashville, TN; Interstate 24 at Exit #64
Houston, TX; Interstate 45 at Exit #91
San Antonio, TX; Interstate Highway 35 N. at mile marker 172
Christiansburg, VA; Inter. 81 at Exit #118C
Fredericksburg, VA; Inter. 95 at Exit #130B

Market Areas

NE SE GL MW SC W EC WC INT'L

Product Literature

Southland Log Homes Planning Guide \$10

CORNER DETAILS



Stockade Dovetail



Saddle notch Log Plank

Company Information

Southland Log Homes has a strong commitment to personal service, and bringing your log home dream to reality. That is the cornerstone that has guided Southland Log Homes to the top of the log homes industry. With over thirty years of experience in custom designing log home floor plans, Southland continues to set the pace. Combining the traditional values of outdoor living with the latest advances in construction and technology all add up to Southland Log Homes being able to offer you the best quality and the best features for the best prices. Come visit one of our fully furnished models and see why Southland Log Homes is America's favorite log home company.



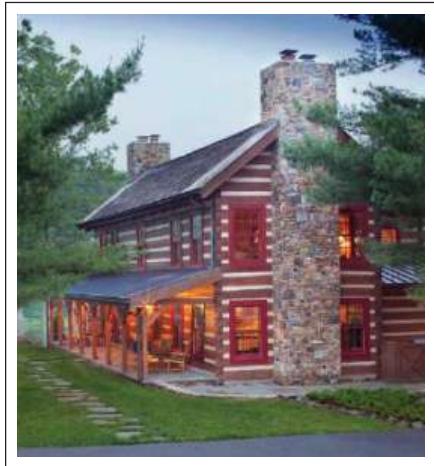
STONEMILL LOG & TIMBER HOMES INC.

10024 Parkside Drive
Knoxville, TN 37922
800-438-8274
865-693-4833; fax: 865-693-9230
e-mail: sales@stonemill.com
www.stonemill.com

Robert W. Cantrell, President
Mathew Sterchi, VP-Sales & Marketing
Jim Slaughter, Sales
David Crockett, Sales

Market Areas

NE SE GL MW SC W EC WC INT'L



Product Literature

Catalog & Planning Guide, 50 pages.....	\$10
A Tradition of Quality - DVD.....	\$10
Catalog & DVD Package.....	\$18

Company Information

Comfort...security...coziness...warmth...is how our customers describe their StoneMill Log & Timber Homes experience. For over 40 years, StoneMill has been taking ideas and visions of log and timber home living and turning them into reality for our homeowners. From the beginning of a conceptual design to the end of construction, StoneMill guides you in the design-build process every step of the way.

StoneMill Log & Timber Homes has built a reputation on quality craftsmanship and service for log, timber frame and hybrid style homes across the U.S. Our design-build team has over 100 years of combined experience advising and helping homeowners build their ideal home. Providing a full range of services, StoneMill will finalize your design plans, work within your budget and construct your log or timber home within your time-frame.

If you're frustrated with your current home or struggling to find the right design and company to work with, we can help! Call us today and we'll address your questions and determine what your best steps are moving forward. Come see why StoneMill builds more than a home; we build lasting traditions.



TIMBER BLOCK

3708 Curleys Fish Camp Road
Connelly Springs, NC 28612
866-929-5647
e-mail: info@timberblock.com
www.timberblock.com

Market Areas

NE SE GL MW SC W EC WC INT'L

Product Literature

Brochure	Free
Plan Book.....	\$10



Company Information

30 YEAR HISTORY

More than 30 years of construction history, tradition and integrity are engrained in the team at Timber Block. Timber Block's parent company was established as a family business in 1977. Success thrived on customer satisfaction, making satisfaction our number one goal.

TECHNOLOGY

R-30/R-36 Insulated logs - No Settling or Shrinkage A log home built for the standards of today and tomorrow. Concerned about new building codes or confused about Thermal Mass? Timber Block's insulation system beats all current and proposed insulation building codes. True stacked construction without the settling and shrinking, featuring revolutionary R-30 or R-36 insulation, is standard in every Timber Block home.

BUILD IN HOURS, NOT WEEKS

PANELIZED SYSTEM

Timber Block's panelized building system allows for your home's walls to be built in hours, not weeks or months, alleviating the home owner of the frustration and cost due to delays in construction.

OUTSTANDING SERVICE

Timber Block's National Construction Manager will guide the home owner through the building process from meeting the general contractor to delivery of the walls. Remember, we work for you!

CUSTOM DESIGN- Floor Plans!

Timber Block's revolutionary insulated panels can be applied to a variety of designs and looks. Timber Block's professional team can custom build to the home owner's personal specification.

TIMBERHAVEN LOG HOMES

434A Swartz Road
Lewisburg, PA 17837
855-306-5678
e-mail: info@timberhavenloghomes.com
www.timberhavenloghomes.com
www.logomedesigncenter.com

Market Areas

NE SE GL MW SC W EC WC INT'L



Engineered Log Homes



Post & Beam Homes



Handcrafted Log Homes

Product Literature

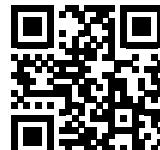
16-page award-winning intro brochure	Free
Plan Book [over 70 designs]	Free
Scientifically Speaking: The Facts about Kiln-Dried and Engineered Logs.....	Free

Company Information

Your Dream . . . Our Passion. It's not just our tagline. It's our foundation for how we do business. We love what we do and focus on working closely with our customers to provide a complete solution to their log and timber home dreams. We take great pride in our products and services and offer only the best in:

- Premium-grade engineered logs
- Kiln-dried certified logs and timbers
- Dozens of log profiles & corner assemblies
- Name-brand components in every package
- Free custom-design consultation
- Professional sales network across the country

Visit us online or call today for more information.



TOMAHAWK LOG & COUNTRY HOMES INC.

2285 County L
Tomahawk, WI 54487
800-544-0636
715-453-7428
e-mail: sales@tomahawklog.com
www.tomahawklog.com

Market Areas

NE SE GL MW SC W EC WC



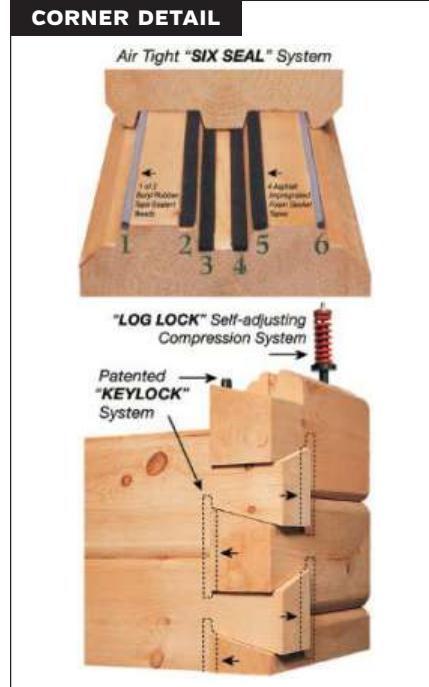
CORNER DETAIL

TRUE NORTH LOG HOMES INC.
P.O. Box 2169 1730 Winhara Road
Bracebridge, ON P1L 1W1 Canada
800-661-1628
705-645-3096; fax: 705-645-4256
e-mail: info@truenorthloghomes.com
www.truenorthloghomes.com

Robert Wrightman, President/CEO

Market Areas

NE SE GL MW SC W EC WC INT'L



Product Literature

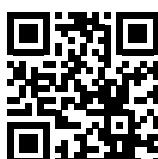
Design Guide, 152 pages.....Free

Company Information

Tomahawk Log & Country Homes is proud to offer the highest quality and most complete insulated hybrid log homes in the log home industry. Our Energy-log Construction System enables you to build without the limitations experienced in full log construction. Conventionally framed walls filled with high-density insulation are then covered with 1-inch Structural Insulated Sheathing for additional energy efficiency. Exterior walls are then covered with hand hewn kiln dried logs ranging in size from 6-inch to 14-inch, stone, cedar shakes or any combination of finishes. The beauty of finishing the interior is that you can also choose from a wide variety of finishes to create the exact look you desire.

Tomahawk Log & Country Homes is one of only a handful of manufacturers that has not only produced all of our own log components for more than 25 years, but we have also been constructing log homes for more than 25 years. With over 200 years of combined experience in the log home industry our team members will assist you through the complete design and construction of your Tomahawk Log Home.

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Market Areas

NE SE GL MW SC EC INT'L



Product Literature

Catalog, 75 pages.....\$15
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Company Information

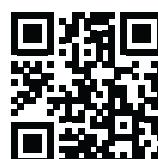
Ward Cedar Log Homes, America's first log home manufacturer is celebrating its 93rd year in providing custom pre-cut Northern White Cedar log homes. In 1923, when Bruce Ward invented his special interlocking milling technique, he created Ward Cedar Log Homes and the premier company in the industry was founded. Today Ward builds log homes with the craftsmanship and quality of more than 90 years of experience. Using only premium pre-cut and graded northern white cedar logs, Ward homes are attractive, low maintenance and energy efficient.

Ward provides complete packages that include quality components such as natural wood interior walls, six-panel interior doors, cedar window and door trim, hand-peeled purlins, beamed ceilings, full-log gables, roofing shingles and log sealants. For added quality, Ward's complete package includes such national brands as Andersen Windows, Therma-Tru exterior doors and Schlage locksets. All logs and trim are precision cut and numbered for easy construction. Logs are 6-by-6 or 6-by-8 and are D-shaped to create a flat interior wall surface. Hand-hewn and clapboard logs are also available.

To maximize energy efficiency, Ward engineers developed the Ward Comfort System 5. This unique, five-point log profile system provides tongue-and-groove joinery, drip edges, closed-cell foam-gasket barriers, external foam backer rods and exterior caulking. Ward also uses a specially engineered interlocking butt-and-pass corner design to further ensure energy efficiency.

Ward also features its Hybrid Log Home which is framed log construction for building in extreme climate conditions or in areas with prescriptive energy codes. With an R-value of over 30, this 2-by-6 framed wall construction includes 6-inch fiberglass batt insulation, 2-by-6 log siding with full log corners and 1-by-6 tongue-and-groove white cedar interior paneling.

Sales representative opportunities are available.



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Market Areas

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Product Literature

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Market Areas

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Product Literature

Architectural Concepts Guide \$10

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The beauty of a Wisconsin Log Home begins with nature's finest log, timber, and hybrid home products. Each profile is cut to rigid specifications in our state-of-the-art sawmill, then hand-peeled by our skilled craftsmen. With our exclusive product selection and Thermal-Log™ system, you're able to create a personalized home that reflects your style.

• ARCHITECTURAL PLANNING & DESIGN

Designing a custom home that will fit your needs and budget is critical. Whether you start with an existing plan or from scratch, your personal consultant and designer will first help you clearly define your design requirements and then tailor each detail to your personal needs.

• NATIONAL TURN-KEY CONSTRUCTION

Whether you use our in-house construction services or want help selecting a builder in your area, Wisconsin Log Homes stays involved throughout construction to ensure the highest level of quality and satisfaction.

• INTERIOR DESIGN & DECOR

Our resident Interior Designer works with each client from preliminary planning to completion, assisting with finish selections like stain, window cladding, hardware and roof colors. We will also generate a furniture layout customized to your plan to make sure each room will live up to its expectations before your home is built. Complete consultative services include assistance with paint and finish colors, flooring, lighting, furnishings, cabinetry, masonry, doors, accessories, and personal help on move-in day.

- Log on to www.WisconsinLogHomes.com for...
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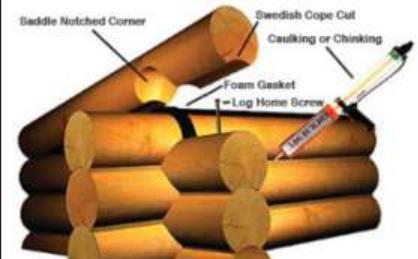


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Market Areas

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CORNER DETAIL

Product Literature

Catalog, 128 pages \$10

Company Information

Yellowstone Log Homes is America's log home manufacturer. We are a family-owned-and-operated business that has been manufacturing quality log homes since 1962. We have shipped more than 10,000 log homes to satisfied log home customers making us one of the worlds largest log home companies. We are able to sell to our customers at an affordable price because we purchase entire timber sales rather than individual loads of logs like most other companies. Our huge selection of dry house logs also enables us to pick the best logs for our customers.

Our logs are TPI grade stamped, and are cut either from standing dead timbers, or logs which have been naturally dried for up to 5 years. Because of the dryness of our logs, our customers experience very little if any settling after the logs are erected. We offer milled Swedish cope wall logs, tongue-and-groove D-logs, full scribe handcrafted homes, and chink style handcrafted homes. We also offer an in-house design department to draw your custom log home blue prints, or if you prefer we can modify one of the existing plans from our plan book. We have a brand new plan book available for only \$10. Our plan book is free to licensed contractors, postage is additional.

Yellowstone Log Homes sells through a nationwide network of dealers. Contact our office in Rigby, Idaho for the dealer nearest you. Dealerships are still available in many areas.



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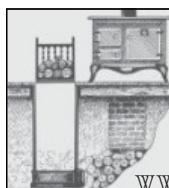
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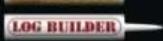
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